

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

FEBRUARY 28, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

(1) **SP2023-005 (HENRY LEE)**

Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Joanne Vockovic of the Pregnancy Resource Center for the approval of an Amended Site Plan for an *office building* on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

(2) **SP2023-006 (HENRY LEE)**

Discuss and consider a request by Dylan Adame of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

(IV) ACTION ITEMS

(3) **SP2023-007 (HENRY LEE)**

Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an *office building* on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

(4) **SP2023-008 (HENRY LEE)**

Discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a Site Plan for a 176-unit *condominium building* on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

(5) **SP2023-009 (HENRY LEE)**

Discuss and consider a request by T. J. McDonald of Half and Associations on behalf of Carolina Molina of Alvaplast US Development, LLC for the approval of an Amended Site Plan for a *warehouse/manufacturing facility* on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard, and take any action necessary.

(V) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Ryan Miller, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 24, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-005
PROJECT NAME: Site Plan for the Pregnancy Resource Center
SITE ADDRESS/LOCATIONS: 1010 RIDGE RD

CASE CAPTION: Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Joanne Vockovic of the Pregnancy Resource Center for the approval of an Amended Site Plan for an office building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Approved w/ Comments

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an office building on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-005) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide a letter that explains that the addition will match the existing building exterior materials.

M.5 Site Plan:

- (1) Please indicate the distance between the building and the side property lines to ensure conformance with the side setbacks. (Subsection 03.04, B. of Article 11)
- (2) Please provide exhibits of all proposed and/or existing fencing. (Subsection 08.02, F. of Article 08)
- (3) All ground mounted utility equipment shall be screened with 5-gallon evergreen shrubs. (Subsection 01.05, C. of Article 05)
- (4) Indicate the landscape buffer. (Subsection 05.01, of Article 08)
- (5) Vitex is not an approved plant within the landscape buffer. (Appendix C)
- (6) All shrubs shall be a 5-gallon minimum. (Appendix C)
- (7) The landscape buffer must have 2 canopy and 4 accent trees per 100-linear feet. In this case, there must be 2 canopy and 3 accent trees. (Subsection 05.01, of Article 08)
- (8) Please consider shifting the canopy trees back closer to the structure to avoid future issues with the power lines or as an alternative, consider understory trees (see comment M.5.9).
- (9) To satisfy the tree mitigation for the one (1) removed tree, consider planting one (1) additional canopy tree in the front. This would satisfy the balance; you could plant one (1) less accent tree and that would be ok. Also, consider reaching out to our Parks Director, Travis Sales, on canopy tree recommendations that do not have invasive roots and will mitigate future conflicts with the power lines. If the one (1) additional canopy tree is not planted, you will have to request approval of an Alternative Tree Mitigation Agreement from City Council (i.e. to allow you to pay more than 20% of the mitigation balance). (Subsection 03.01, G, of Article 09)
- (10) Please remove note #3, as no new lighting is being proposed.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Approved w/ Comments

02/22/2023: General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees for roadway will be based on expansion size.
- Minimum easement width is 20'. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required for additional impervious area. Previous project did not account for this proposed phase for detention sizing.
- Retaining walls are not allowed within detention ponds.

Water and Wastewater Items:

Roadway Paving Items:

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved

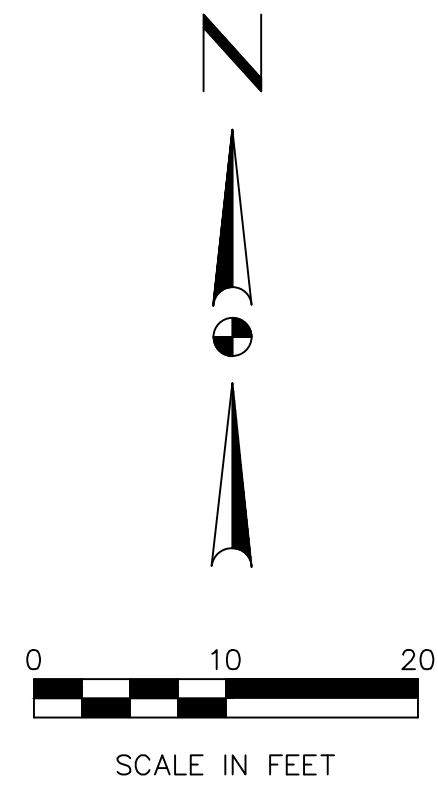
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved

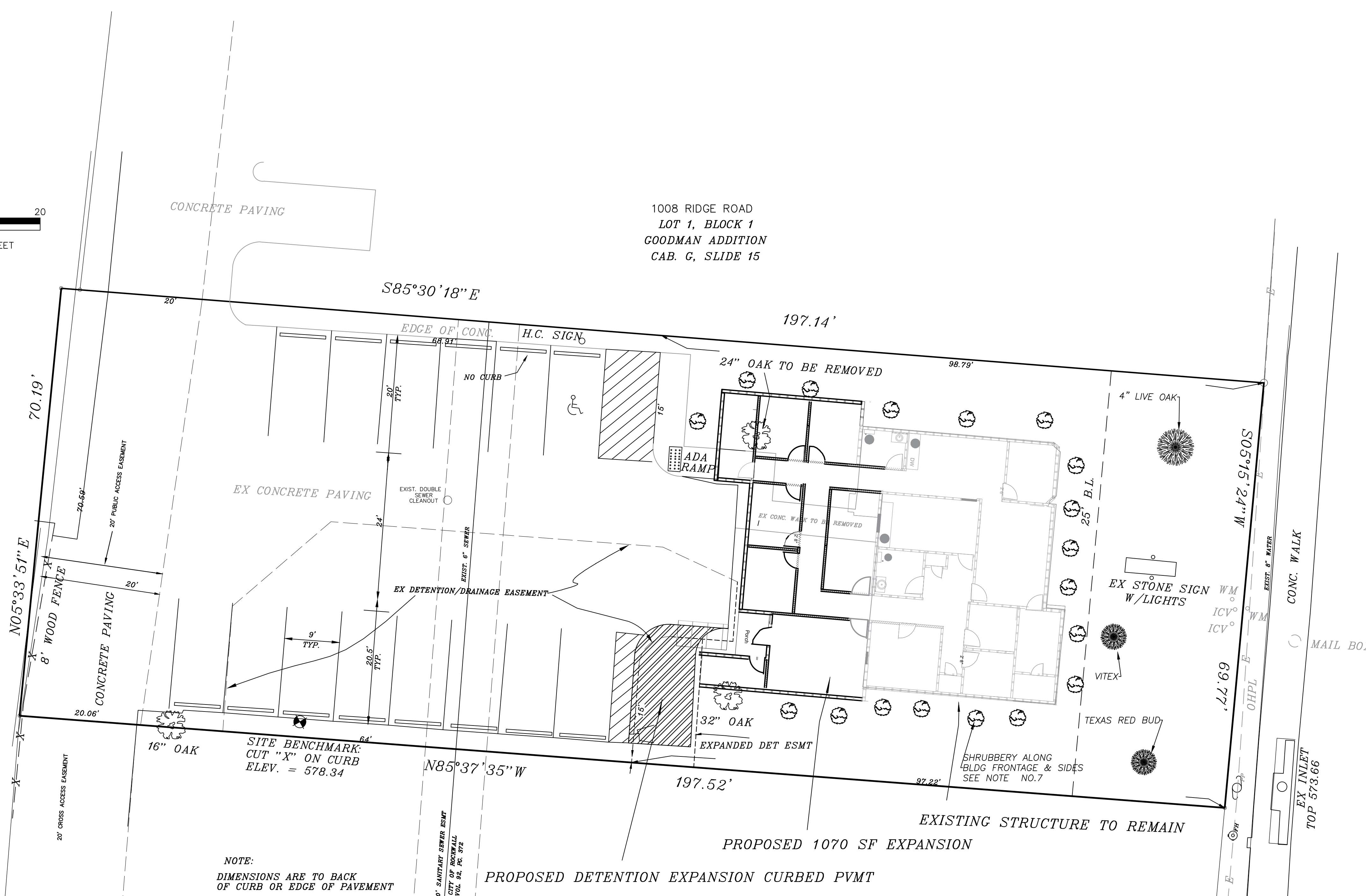
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved

No Comments



RIDGE ROAD VILLAGE
CAB. A, SLIDE 35
P.R.R.C.T.

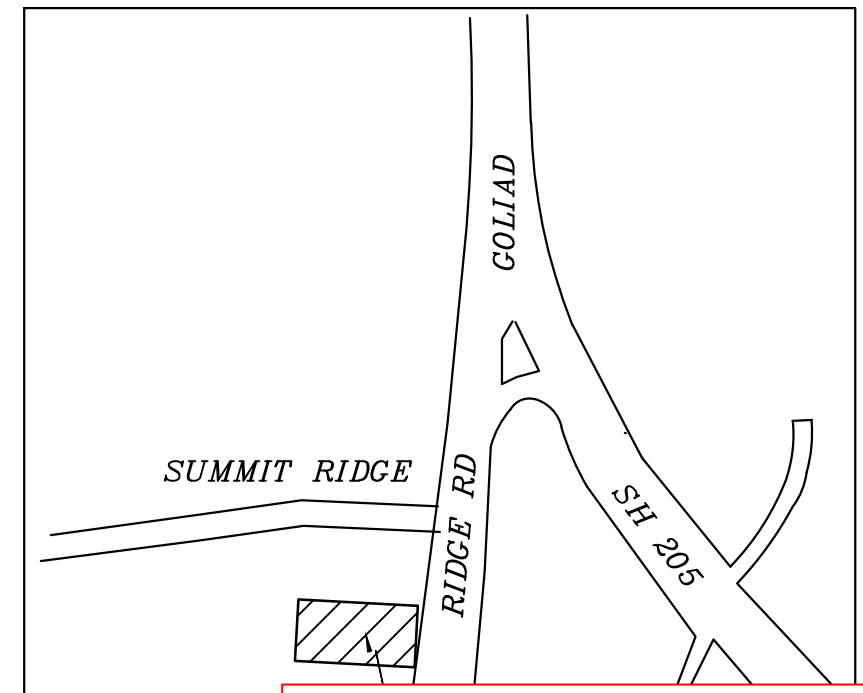


NOTE:
DIMENSIONS ARE TO BACK
OF CURB OR EDGE OF PAVEMENT

1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. C, SLIDE 317

SITE DATA SUMMARY:
 NAME OF FINAL PLAT: PREGNANCY RESOURCE CENTER LOT 1 BLOCK A BEING A REPLAT OF LOT 3 R.S. LOFLAND SUBD
 ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53
 PROPOSED USE: BUSINESS OFFICE
 EXIST BUILDING SQUARE FOOTAGE: 1200 SF
 PROPOSED BUILDING EXPANSION SQUARE FOOTAGE 1070 SF
 TOTAL BUILDING FOOTPRINT: 2270 SF
 BUILDING HEIGHT: 28 FT
 LOT COVERAGE: 16.44%
 PARKING SPACES REQUIRED: 1 SPACE/300 SF= 8
 HANDICAP PARKING REQUIRED: 1
 TOTAL PARKING SPACES PROVIDED: 14
 HANDICAP PARKING PROVIDED: 1
 INTERIOR LANDSCAPING REQUIRED: 30%
 INTERIOR LANDSCAPING PROVIDED: 30% 4150 SF
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=9314 SF

- NOTES:**
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. EXTERIOR SIDE LIGHTING IS BUILDING WALL PACK WITH DOWN CAST ILLUMINATION
 4. 1- 4" LIVE OAK, 1-TEXAS RED BUD, 1-VITEX TO BE PLANTED AS SHOWN FRONTING RIDGE RD
 5. IN LIEU OF THE RESIDENT SCREENING CRAPE MYRTLES ARE TO BE PLANTED AT SAME 5' SPACING AS 1008 RIDGE RD ALONG WEST PROPERTY LINE
 6. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
 7. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
 8. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN

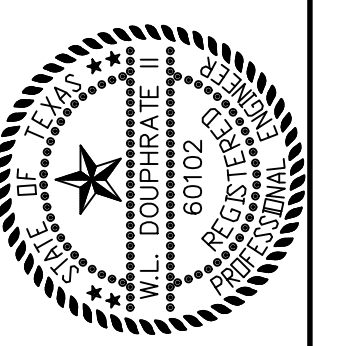


RIDGE ROAD
F.M. HWY. 740
VARIABLE WIDTH R.O.W.

APPROVED:
I HEREBY CERTIFY THAT THE
FOR A DEVELOPMENT IN THE
BY THE PLANNING & ZONING
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____
PLANNING & ZONING COMMISSION

OWNER
PREGNANCY RESOURCE CENTER
 1010 RIDGE RD
 ROCKWALL, TX 75087
 972-722-8292

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees for roadway will be based on expansion size.
 - Minimum easement width is 20'. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.
- Drainage Items:**
- Detention is required for additional impervious area. Previous project did not account for this proposed phase for detention sizing.
 - Retaining walls are not allowed within detention ponds.
- Water and Wastewater Items:**
- Roadway Paving Items:**
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



THE SEAL APPEARING ON THIS DOCUMENT IS AUTHORIZED BY THE COMMISSIONERS OF THE STATE OF TEXAS, P.L. NO. 60102, F-886, ON DATE: FEBRUARY 15, 2023

DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING - PROJECT MANAGEMENT - SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING
PREGNANCY RESOURCE CENTER
 1010 RIDGE ROAD
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	
CHECKED	W.L.D.
DRAWN	GCW.
SCALE	1" = 10' H 1" = 1' V
DATE	JUNE 16, 2015
PROJECT	22029
	1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1010 Ridge Rd
 SUBDIVISION: R.S. Lofland Subd. LOT: 1 BLOCK: A
 GENERAL LOCATION: Ridge Rd south of Summit Ridge

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: R0 CURRENT USE: OFFICE
 PROPOSED ZONING: R0 PROPOSED USE: OFFICE
 ACREAGE: .32 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Pregnancy Resource Center	<input checked="" type="checkbox"/> APPLICANT	Dob Doughrate w/
CONTACT PERSON	Jocanne Vuckovic	CONTACT PERSON	Doughrate & Assoc. Inc.
ADDRESS	1010	ADDRESS	2235 Ridge Rd
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	972 772 8292	PHONE	972 742 2210
E-MAIL		E-MAIL	wldoughrate@doughrate.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

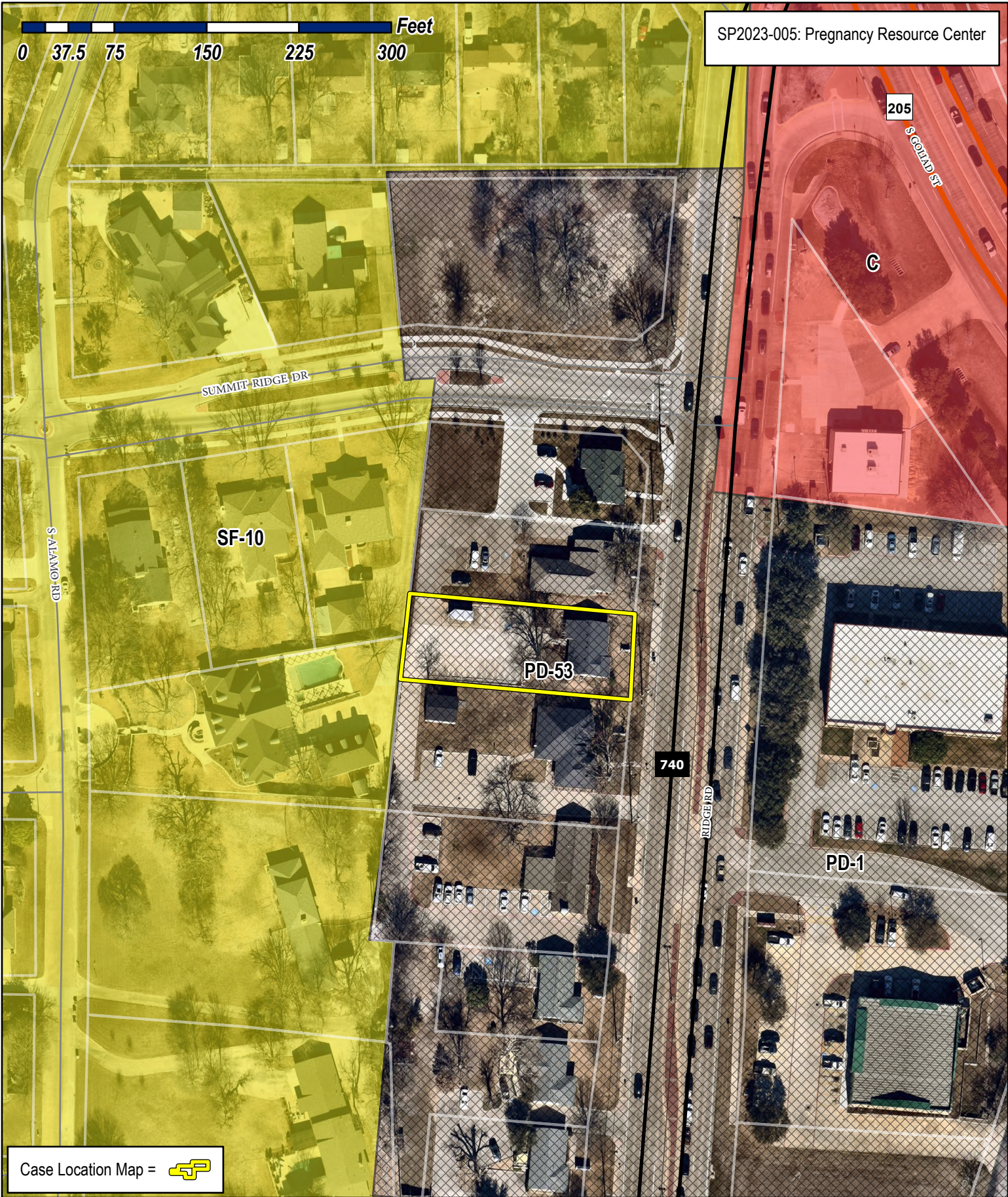
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Case Location Map =

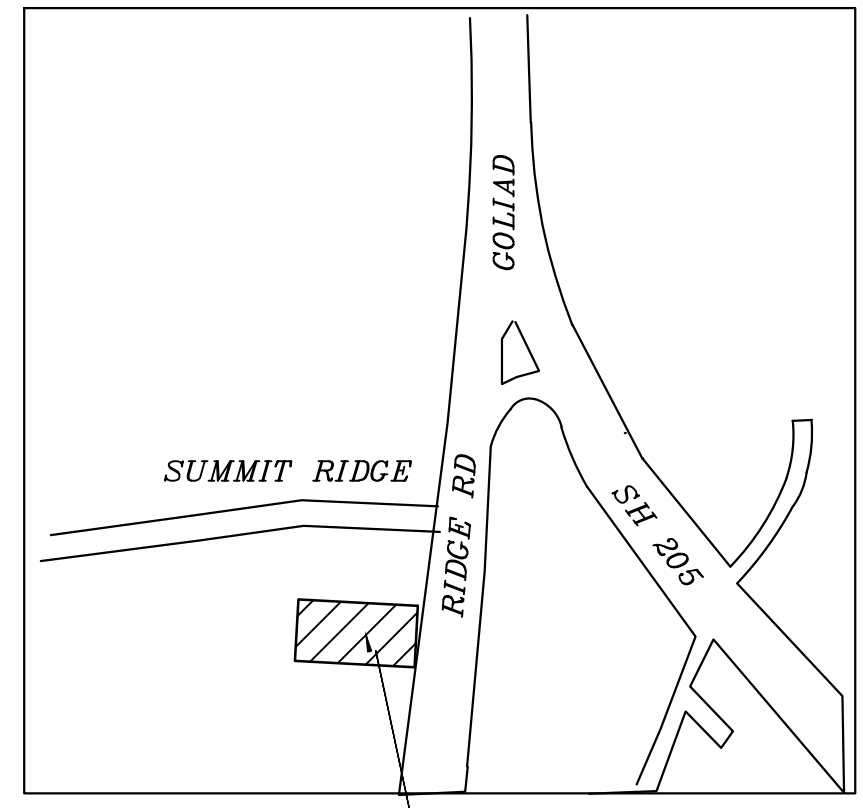
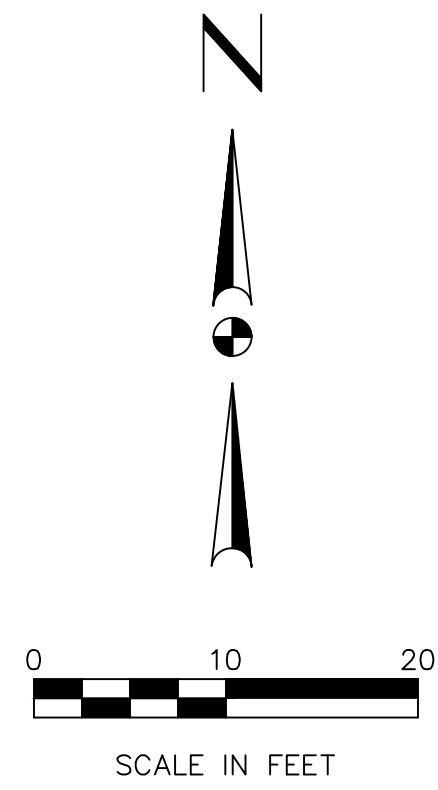


City of Rockwall

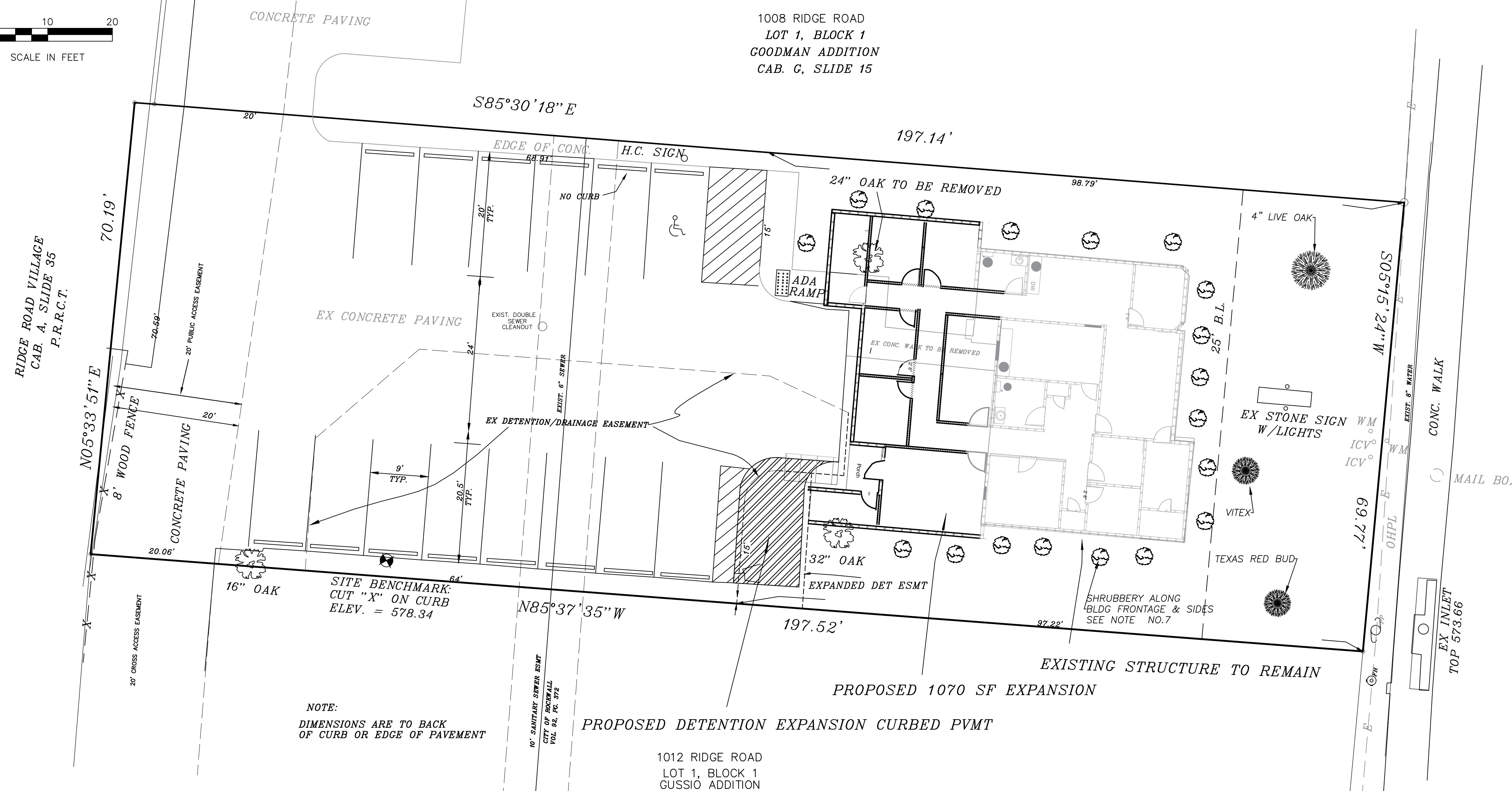
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PROJECT LOCATION
LOCATION MAP
NTS



NOTE:
DIMENSIONS ARE TO BACK
OF CURB OR EDGE OF PAVEMENT

1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. C, SLIDE 317

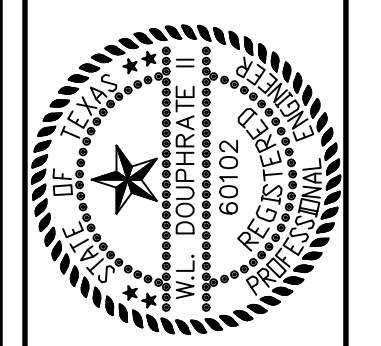
SITE DATA SUMMARY:
 NAME OF FINAL PLAT: PREGNANCY RESOURCE CENTER LOT 1 BLOCK A BEING A REPLAT OF LOT 3 R.S. LOFLAND SUBD
 ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53
 PROPOSED USE: BUSINESS OFFICE
 EXIST BUILDING SQUARE FOOTAGE: 1200 SF
 PROPOSED BUILDING EXPANSION SQUARE FOOTAGE 1070 SF
 TOTAL BUILDING FOOTPRINT: 2270 SF
 BUILDING HEIGHT: 28 FT
 LOT COVERAGE: 16.44%
 PARKING SPACES REQUIRED: 1 SPACE/300 SF= 8
 HANDICAP PARKING REQUIRED: 1
 TOTAL PARKING SPACES PROVIDED: 14
 HANDICAP PARKING PROVIDED: 1
 INTERIOR LANDSCAPING REQUIRED: 30%
 INTERIOR LANDSCAPING PROVIDED: 30% 4150 SF
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=9314 SF

- NOTES:**
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. EXTERIOR SIDE LIGHTING IS BUILDING WALL PACK WITH DOWN CAST ILLUMINATION
 4. 1- 4" LIVE OAK, 1-TEXAS RED BUD, 1-VITEX TO BE PLANTED AS SHOWN FRONTING RIDGE RD
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RIDGE ROAD
F.M. HWY. 740
VARIABLE WIDTH R.O.W.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____
 WITNESS OUR HANDS, THIS _____ DAY OF _____, _____
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING
 CASE NO. SP2020-009

OWNER
PREGNANCY RESOURCE CENTER
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292

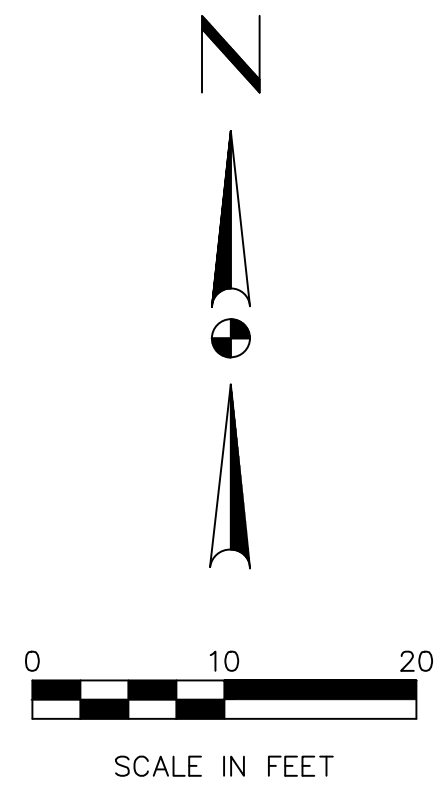


THE SEAL APPEARING ON THIS DOCUMENT IS VALID FOR THE STATE OF TEXAS P.E. NO. 60102 F-886, ON DATE: FEBRUARY 15, 2023

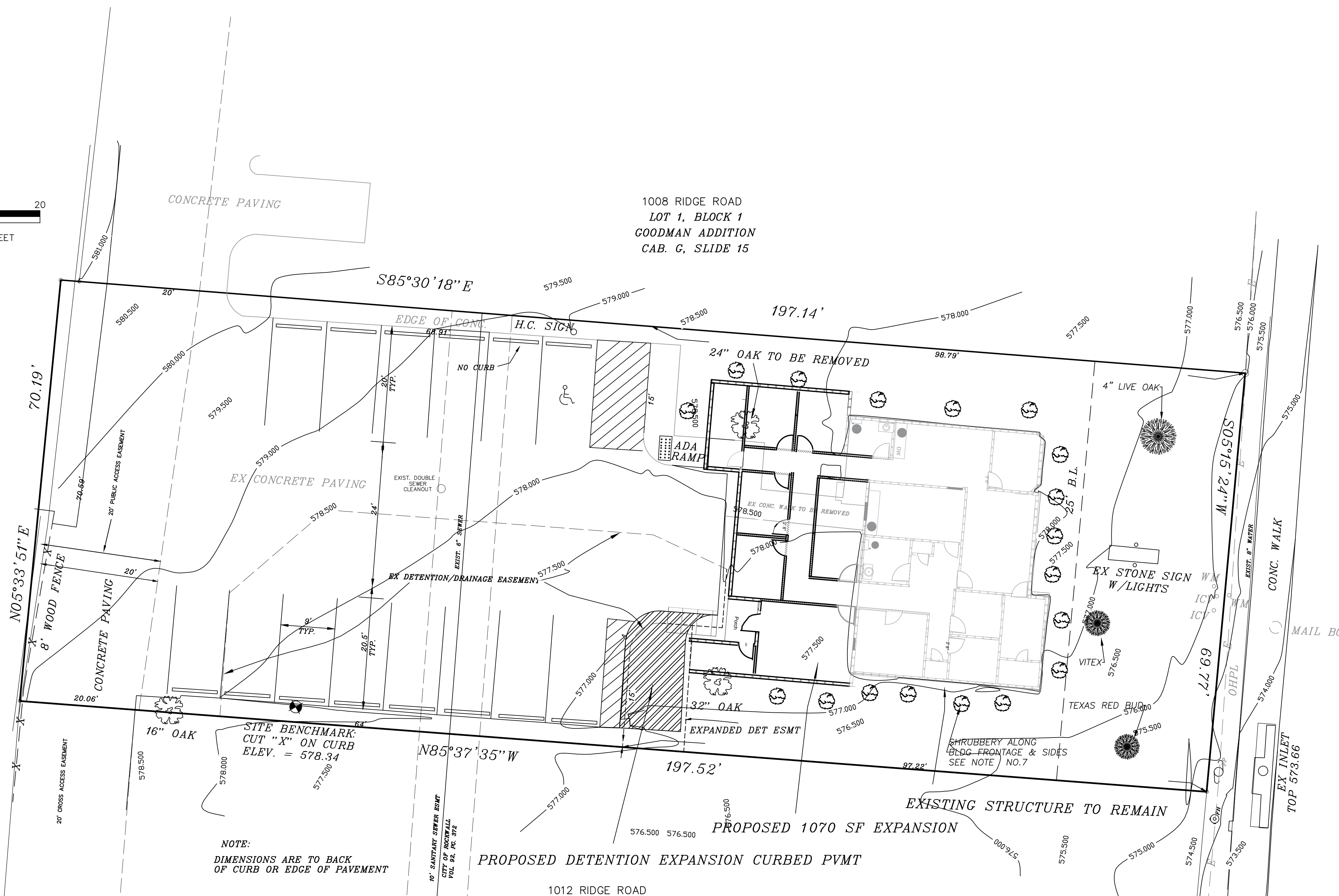
DOUPHRADE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING
PREGNANCY RESOURCE CENTER
1010 RIDGE ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	
CHECKED	W.L.D.
DRAWN	GCW.
SCALE	1" = 10' H 1" = 1' V
DATE	JUNE 16, 2015
PROJECT	22029
	1



RIDGE ROAD VILLAGE
CAB. A, SLIDE 35
P.R.R.C.T.

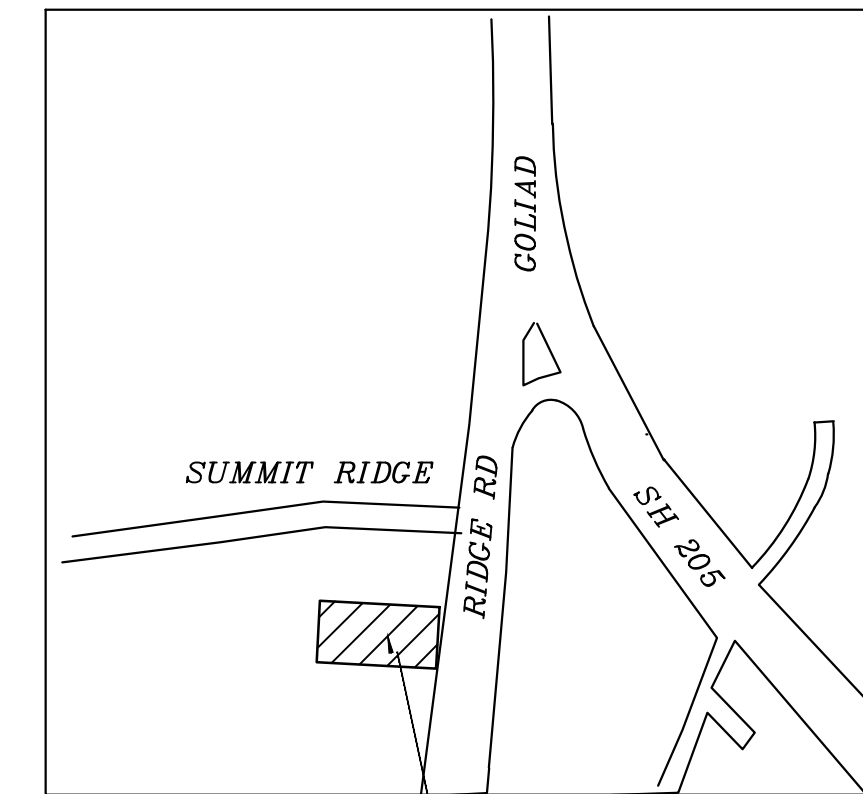


NOTE:
DIMENSIONS ARE TO BACK
OF CURB OR EDGE OF PAVEMENT

1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. G, SLIDE 317

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- NOTES:**
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 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. EXTERIOR SIDE LIGHTING IS BUILDING WALL PACK WITH DOWN CAST ILLUMINATION
 4. 1- 4" LIVE OAK, 1-TEXAS RED BUD, 1-VITEX TO BE PLANTED AS SHOWN FRONTING RIDGE RD
 5. IN LIEU OF THE RESIDENT SCREENING CRAPE MYRTLES ARE TO BE PLANTED AT SAME 5' SPACING AS 1008 RIDGE RD ALONG WEST PROPERTY LINE
 6. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
 7. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
 8. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN

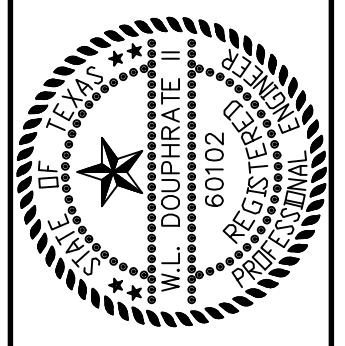


PROJECT LOCATION
LOCATION MAP
NTS

RIDGE ROAD
F.M. HWY. 740
VARIABLE WIDTH R.O.W.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING
CASE NO. SP2020-009

OWNER
PREGNANCY RESOURCE CENTER
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE II TEXAS P.E. NO. 60102, F-886, ON DATE: FEBRUARY 15, 2023

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING-PROJECT MANAGEMENT-SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING
PREGNANCY RESOURCE CENTER
1010 RIDGE ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	GC.W.
DRAWN	
SCALE	1"=10' H 1"=10' V
DATE	JUNE 16, 2015
PROJECT	22029







PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-006
PROJECT NAME: Amended Site Plan for Stream
SITE ADDRESS/LOCATIONS: 1351 CORPORATE CROSSING

CASE CAPTION: Discuss and consider a request by Dylan Adame of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of an Amended Site Plan for a warehouse/distribution center facility on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Needs Review

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a warehouse/distribution center facility on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-006) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Please remove all proposed signage from the site plan. All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) Please provide a dumpster detail that meets the code requirements. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster

storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

(2) Provide a variance letter that details that the outside storage/silo screening requirements will not be met on the north and part of the west side of the property; however, as communicated, indicate that the trees in the floodplain will serve as the screening for the outside storage.

M.7 Treescap Plan:

(1) Accent trees do not count towards the mitigation balance. This means that 604-inches are being planted and not 900-inches. That being said, the mitigation balance is still covered. (Subsection 03.01. B, of Article 09)

M.8 Photometric Plan:

- (1) Provide the site data information required in Section 2.1 of this checklist. (See Section 2.1 of this Checklist)
- (2) All lighting must be mounted at 20-feet or less per the General Overlay District Standards. (Subsection 03.03. D, of Article 07)
- (3) Please provide cutsheets for all of the proposed light fixtures. (Subsection 03.03. A, of Article 07)

M.9 Building Elevations:

1. Provide a note that the inside of the parapet will match (i.e. either paint or material; no white TPO) the exterior facing façade. (Subsection 04.01. C, of Article 05)

I.10 Staff has identified the following exceptions and variances associated with the proposed request: [1] outside storage/silo. Should you decide to request these item(s) as variance(s)/exception(s), please provide a letter that lists them, why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Needs Review
02/22/2023: - Storage needs to be removed from water line and fire hydrant easement. - Parking to be 20'x9'. - No deadend parking without approved turn around (64'x15'). Need to note on site and engineering plans that the area "before" the gate will be designated as "No Parking" to accommodate the turnaround.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved w/ Comments

- 02/21/2023: 1. Landscape Plan approved
2. please review Tree Mitigation Ordinance for future tree mitigation plan submittals as it has changed.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1351 Corporate Crossing Rockwall, TX 75032**

SUBDIVISION **Platted - John Lockhard Survey Abstract No. 134** LOT **1** BLOCK **A**

GENERAL LOCATION **West of intersection of Corporate Crossing and Capital Blvd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LI** CURRENT USE **Undeveloped**

PROPOSED ZONING _____ PROPOSED USE **Warehouse**

ACREAGE **43.237 AC** LOTS [CURRENT] **N/A** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Stream 1515 Corporate Crossing, L.P.** APPLICANT **Kimley-Horn and Associates, Inc.**

CONTACT PERSON **Grayson Hughes** CONTACT PERSON **Dylan Adame**

ADDRESS **2001 Ross Avenue** ADDRESS **13455 Noel Road**
Suite 400 **Suite 700**

CITY, STATE & ZIP **Dallas, TX 75201** CITY, STATE & ZIP **Dallas, TX 75240**

PHONE **214-208-0519** PHONE **972-776-1769**

E-MAIL **Grayson.Hughes@streamrealty.com** E-MAIL **dylan.adame@kimley-horn.com**

NOTARY VERIFICATION [REQUIRED]

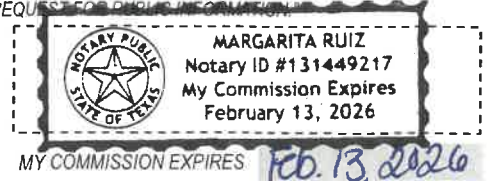
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Grayson Hughes [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 140 280 560 840 1,120 Feet

SP2023-006: Site Plan for Stream

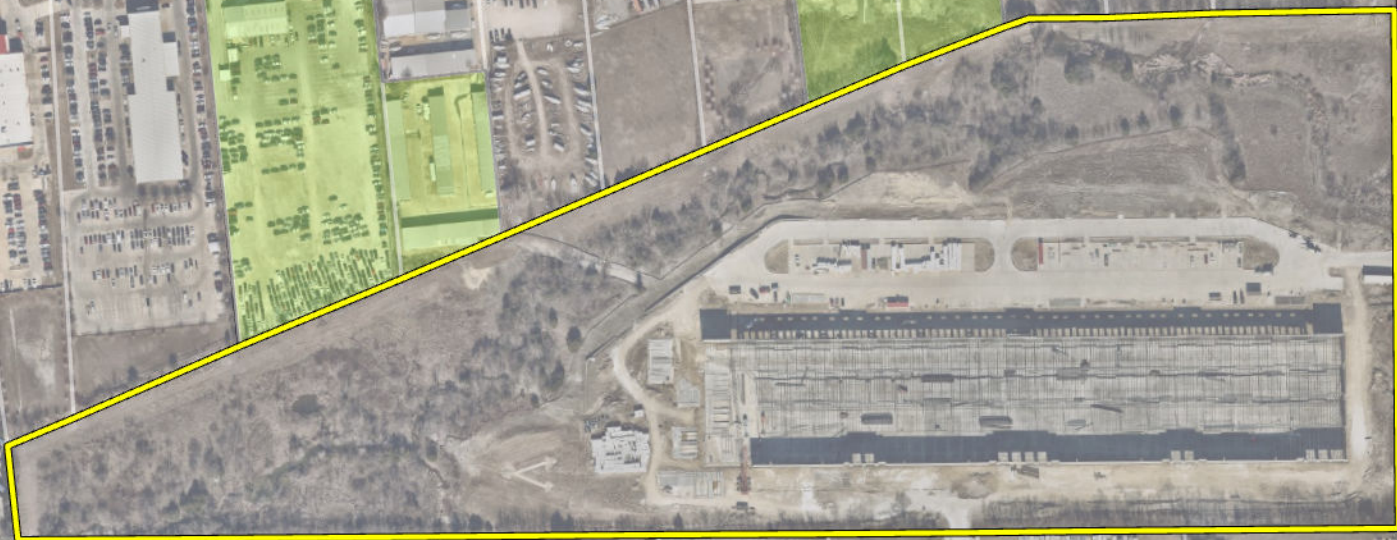
549

CONVEYOR ST

AG



C



LI

TECHNOLOGY WAY

OBSERVATION TRL

PD-83

INNOVATION DR

SCIENCE PL

DISCOVERY BLVD

CORPORATE CROSSING

Case Location Map =

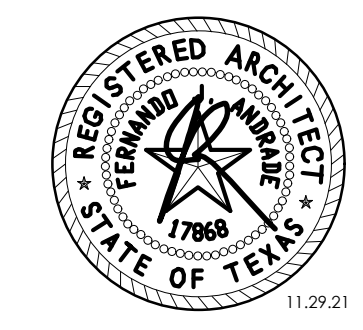


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





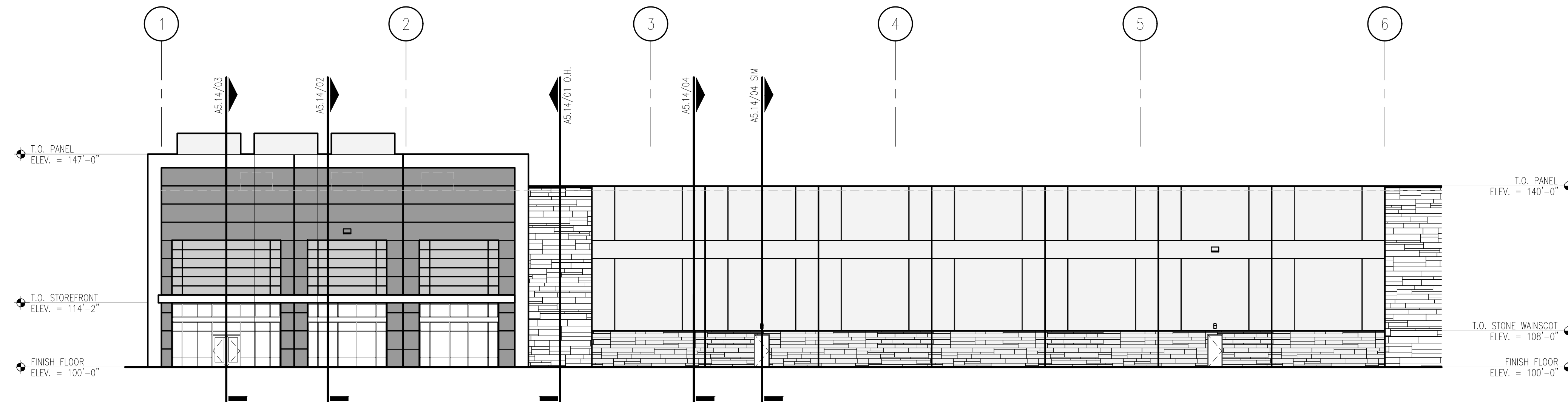
g s r andrade
 ARCHITECTS
 4021 Commerce St., Ste. 1
 Dallas, Texas 75226
 P 214.826.7040
 F 214.887.0599

Fernando Andrade, AIA	Architect
Kimley-Horn	Civil Engineer
Engineering Analysts, Inc.	Structural Engineer
Venture Mechanical, Inc.	Mechanical Engineer
Kilgore Industries	Electrical Engineer
J.L. Parker Plumbing, Inc.	Plumbing Engineer
Kimley-Horn	Landscape Architect

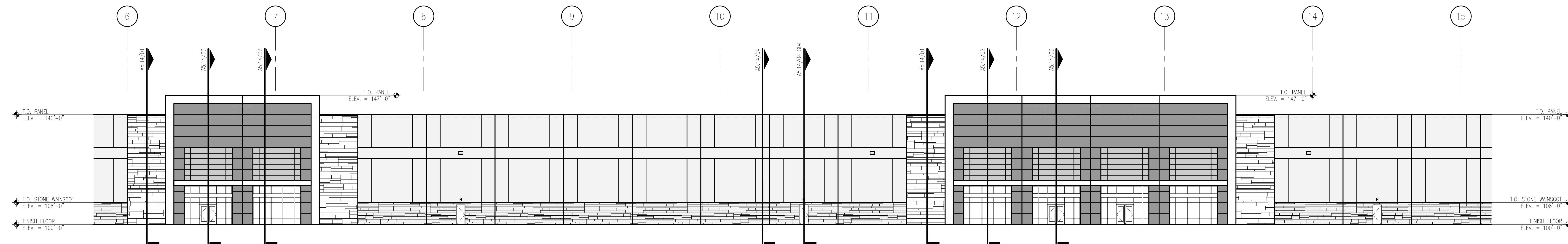


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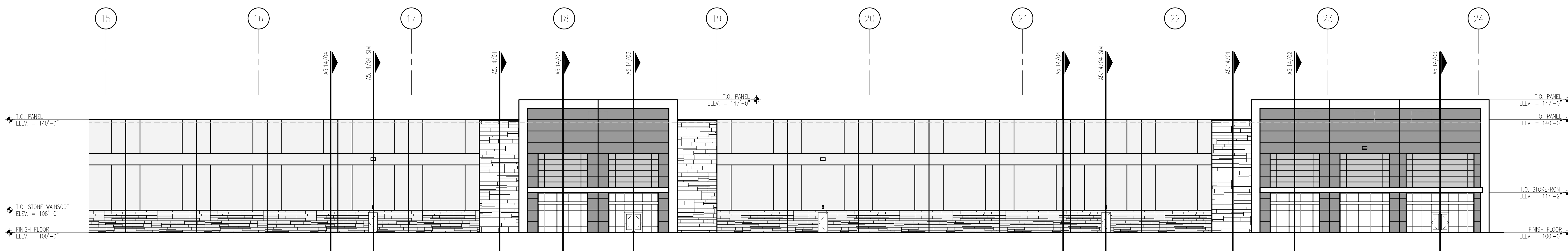
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[Light Gray Box]	PAIN 2 COLOR TO MATCH SW 6188 (258-C6); "MODERNE WHITE"
[Medium Gray Box]	PAIN 3 COLOR TO MATCH SW 7017 (244-C3); "DORIAN GRAY"
[Dark Gray Box]	PAIN 4 COLOR TO MATCH SW 7018 (244-C5); "DOVETAIL"
[Stone Pattern Box]	STONE 1 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "WHITE"
[Stone Pattern Box]	STONE 2 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "SILVER ASH"



01 SOUTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"



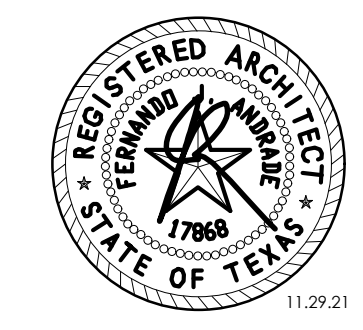
01 SOUTH ELEVATION
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ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

11.29.21	ISSUE FOR PERMIT
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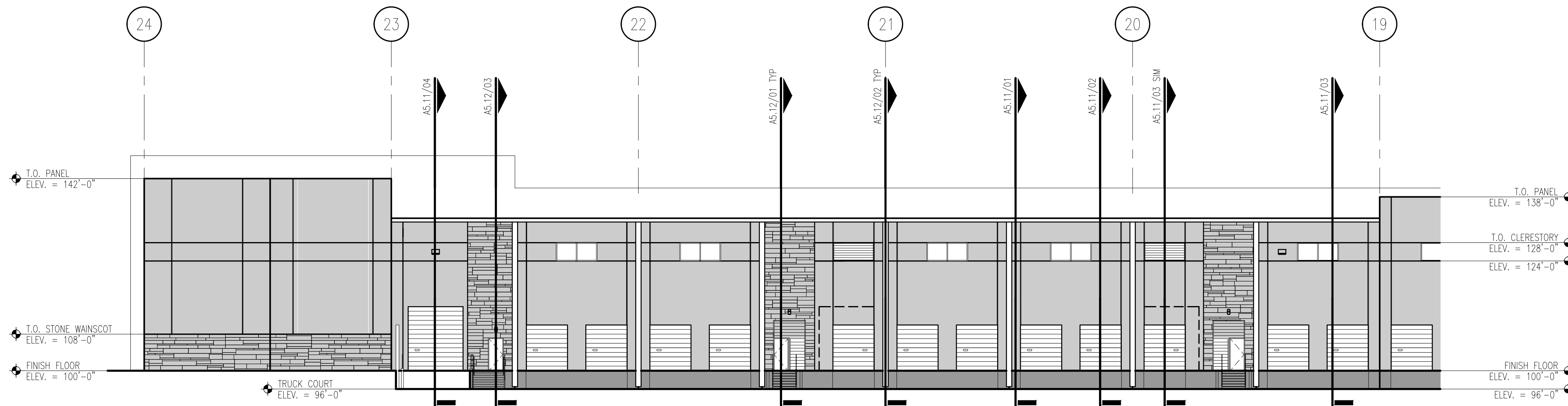
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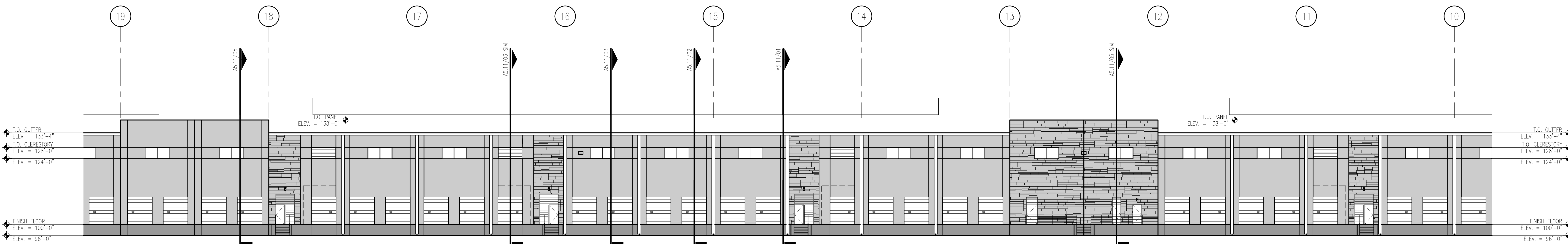


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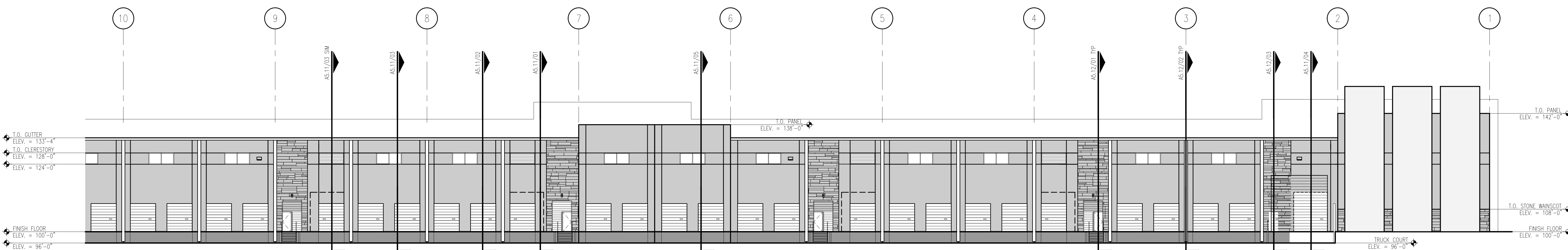
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01 NORTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"



01 NORTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"

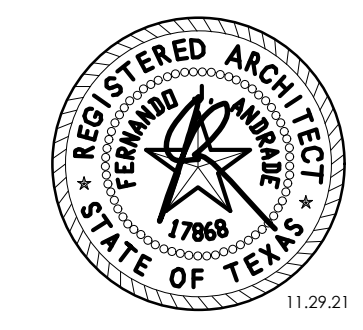


01 NORTH ELEVATION
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ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

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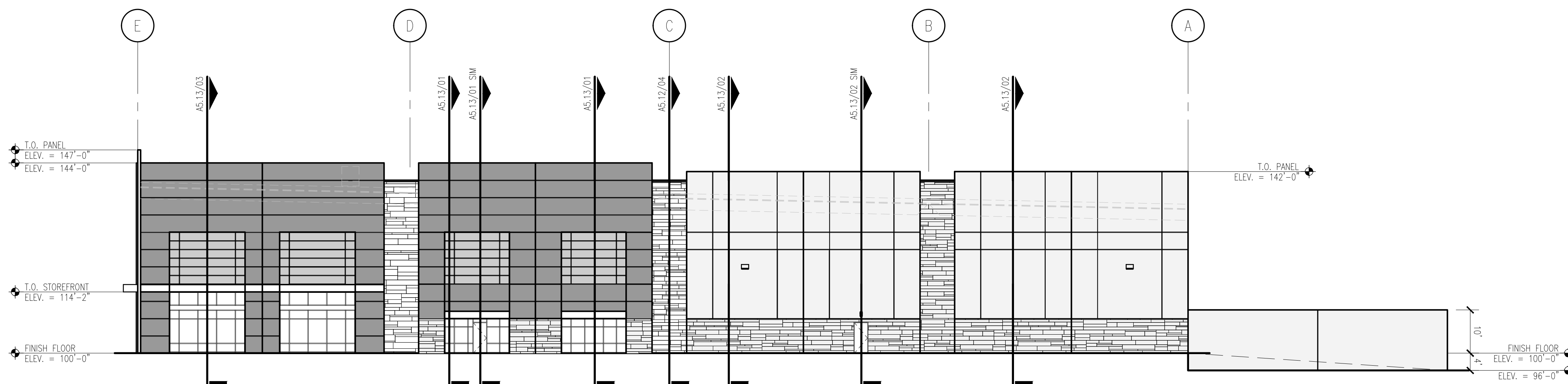
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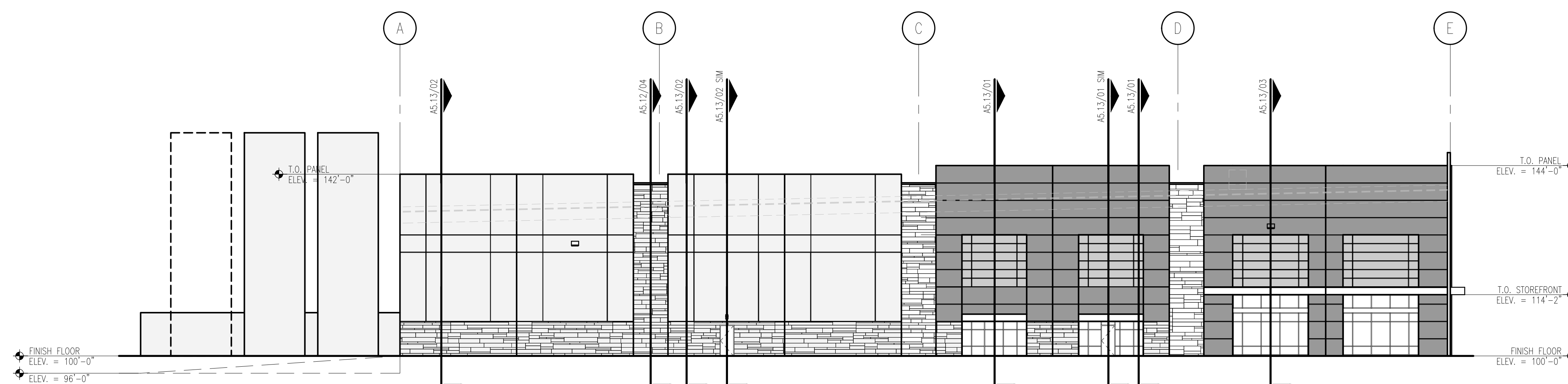


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02 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



01 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

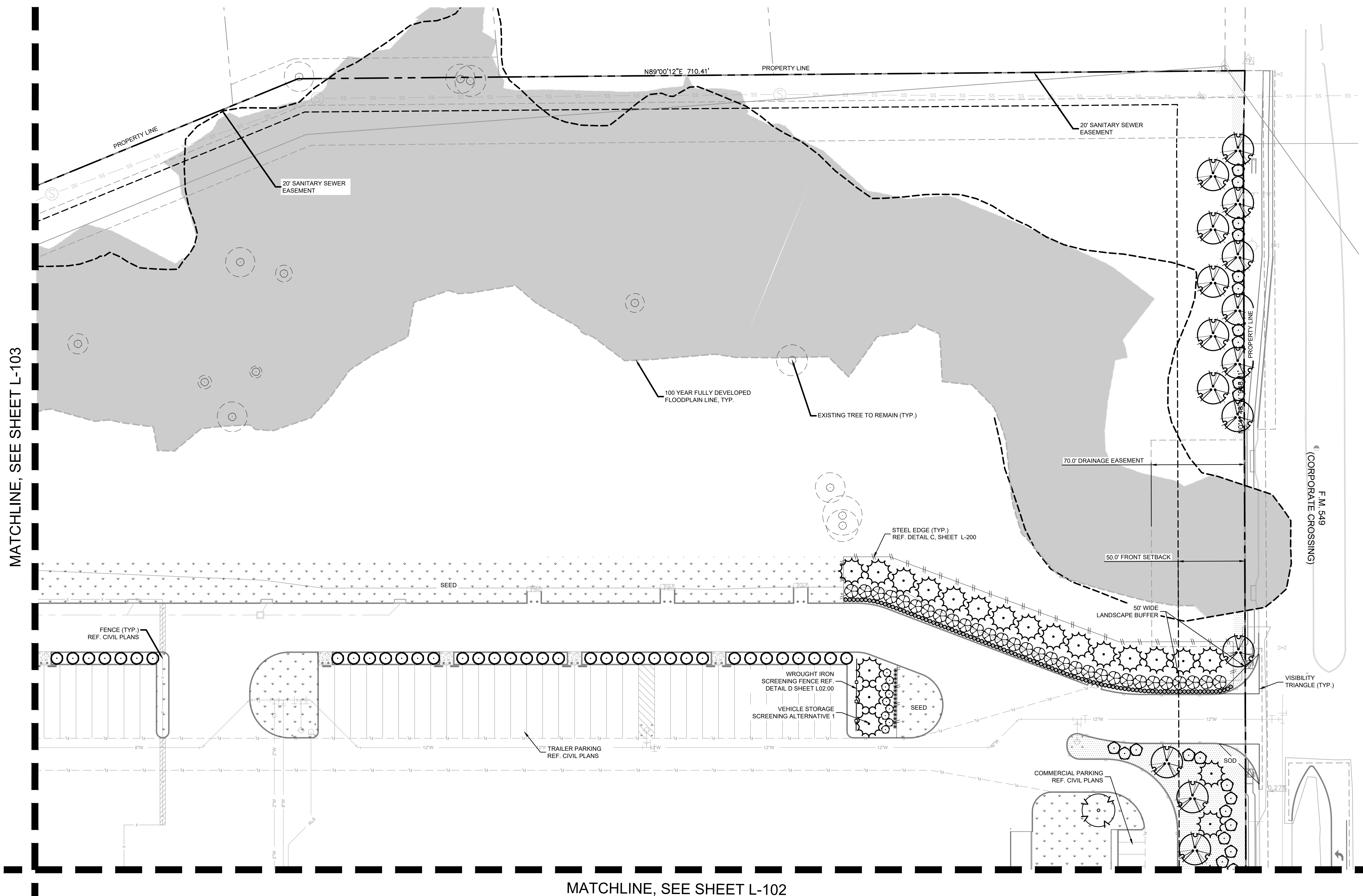
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NO.	DATE	DESCRIPTION
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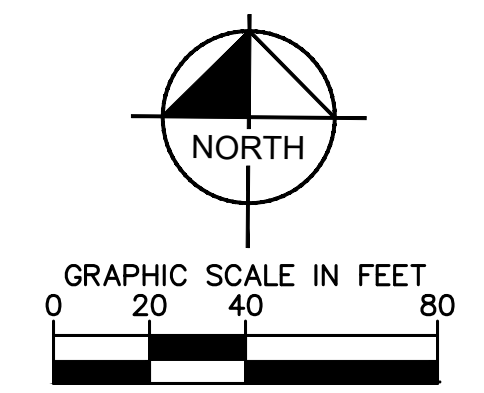
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 PLOTTED BY: FLETCHER, MEGAN
 XREFS AND PLOTTED BY: FLETCHER, MEGAN
 DWG NAME: L:\2023\LANDSCAPE PLAN_NEW.DWG

This document, together with the concepts and designs presented herein, is an instrument of service, it is intended only for the specific purpose and client to which it was prepared. House of and proper relation on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

MATCHLINE, SEE SHEET L-103



MATCHLINE, SEE SHEET L-102



REF. SHEET L-100 FOR FULL PLANT SCHEDULE

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
	TD	TAXODIUM DISTICHUM / BALD CYPRESS
	OC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
	CL	CHILOPSIS LINEARIS / DESERT WILLOW
	JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
	US	LINGNADIA SPECIOSA / MEXICAN BUCKEYE
	OS	QUERCUS SHUMARDII / SHUMARD RED OAK
	CC	CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD
SHRUBS	CODE	BOTANICAL / COMMON NAME
	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA
	IC	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	LC	LOROPETALUM CHINENSIS / LOROPETALUM
	LF	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SEED	CYNODON DACTYLON / BERMUDA GRASS
	SOD	CYNODON DACTYLON / COMMON BERMUDA GRASS
	DM	DRAINFIELD MIX / DRAINFIELD MIX
AGGREGATE	CODE	BOTANICAL / COMMON NAME
	BE	BLACK EAGLE GRAVEL

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

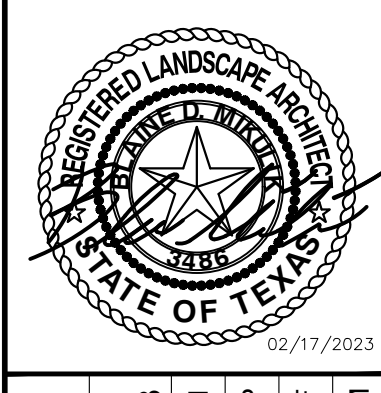
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.



No.	REVISIONS	DATE

Kimley >>> Horn
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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KHA PROJECT	068213100
DATE	FEBRUARY 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

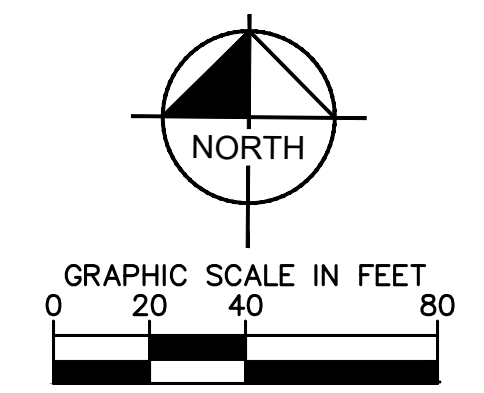
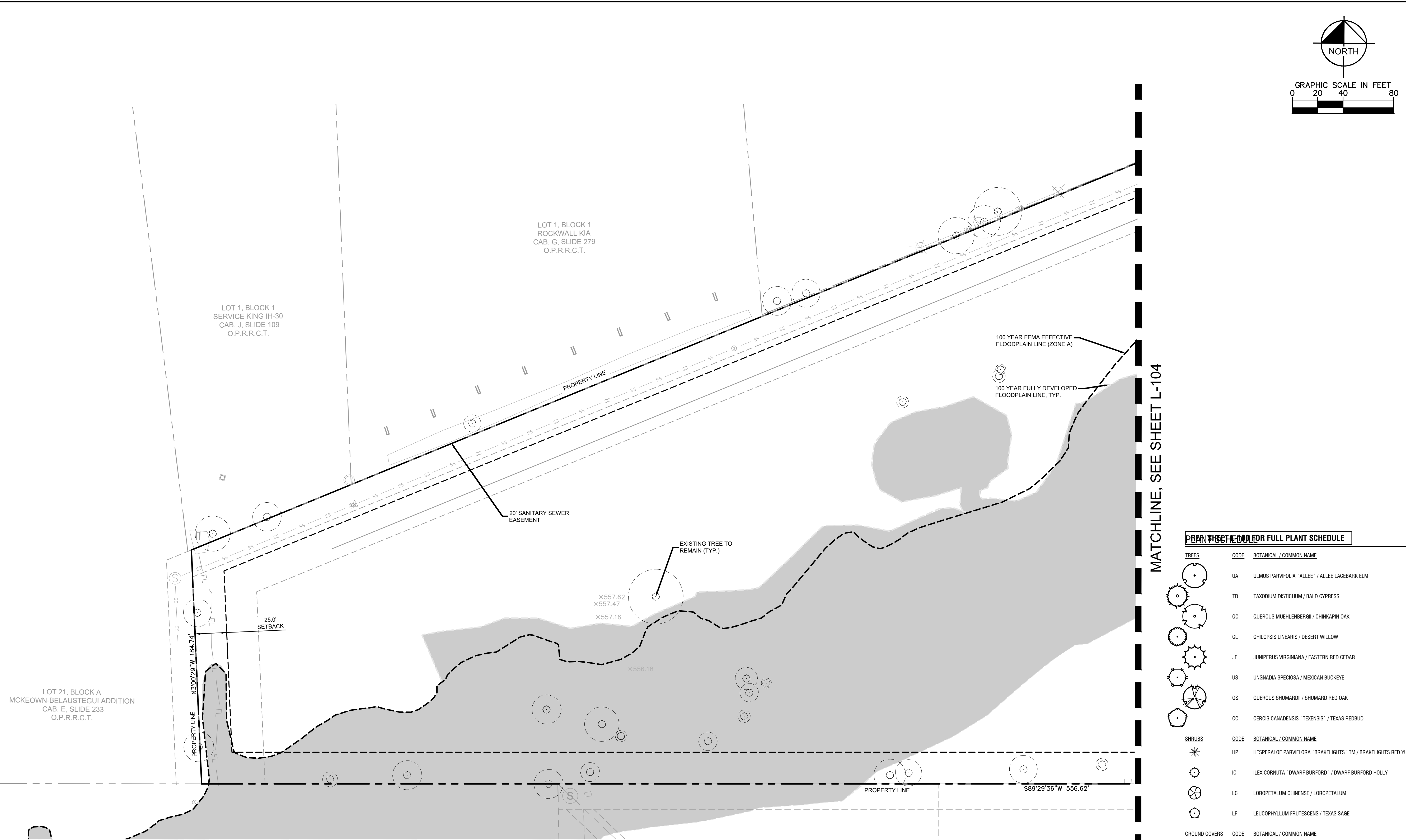
STREAM ROCKWALL
 PREPARED FOR
 STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

LANDSCAPE PLAN
 (1 OF 5)

SHEET NUMBER
 L-101

IMAGES: 811, LANDSCAPE ARCHITECTS, P.L.L.C. (L.A.) - 06/01/2023 - 08:00 AM - 10:00 AM - 11:00 AM - 12:00 PM - 1:00 PM - 2:00 PM - 3:00 PM - 4:00 PM - 5:00 PM - 6:00 PM - 7:00 PM - 8:00 PM - 9:00 PM - 10:00 PM - 11:00 PM - 12:00 AM
 XREFS: 811, LANDSCAPE ARCHITECTS, P.L.L.C. (L.A.) - 06/01/2023 - 08:00 AM - 10:00 AM - 11:00 AM - 12:00 PM - 1:00 PM - 2:00 PM - 3:00 PM - 4:00 PM - 5:00 PM - 6:00 PM - 7:00 PM - 8:00 PM - 9:00 PM - 10:00 PM - 11:00 PM - 12:00 AM
 PLOTTED BY: FLETCHER, MORGAN (FM) 02/02/2023 10:07 PM
 DWG NAME: L-104.LANDSCAPE PLAN_NEW.DWG

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PLAN SHEET FOR FULL PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
	TD	TAXODIUM DISTICHUM / BALD CYPRESS
	QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
	CL	CHLOPSIS LINEARIS / DESERT WILLOW
	JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
	US	UNGUADA SPECIOSA / MEXICAN BUCKEYE
	QS	QUERCUS SHUMARDII / SHUMARD RED OAK
	CC	CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD
SHRUBS	CODE	BOTANICAL / COMMON NAME
	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA
	IC	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	LC	LOROPETALUM CHINENSE / LOROPETALUM
	LF	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SEED	CYNODON DACTYLON / BERMUDA GRASS
	SOD	CYNODON DACTYLON / COMMON BERMUDA GRASS
	DM	DRAINFIELD MIX / DRAINFIELD MIX
AGGREGATE	CODE	BOTANICAL / COMMON NAME
	BE	BLACK EAGLE GRAVEL

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

SITE PLAN SIGNATURE BLOCK
 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____.
 WITNESS OUR HANDS, THIS ____ DAY OF ____, ____

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



No.	REVISIONS	DATE

Kimley-Horn
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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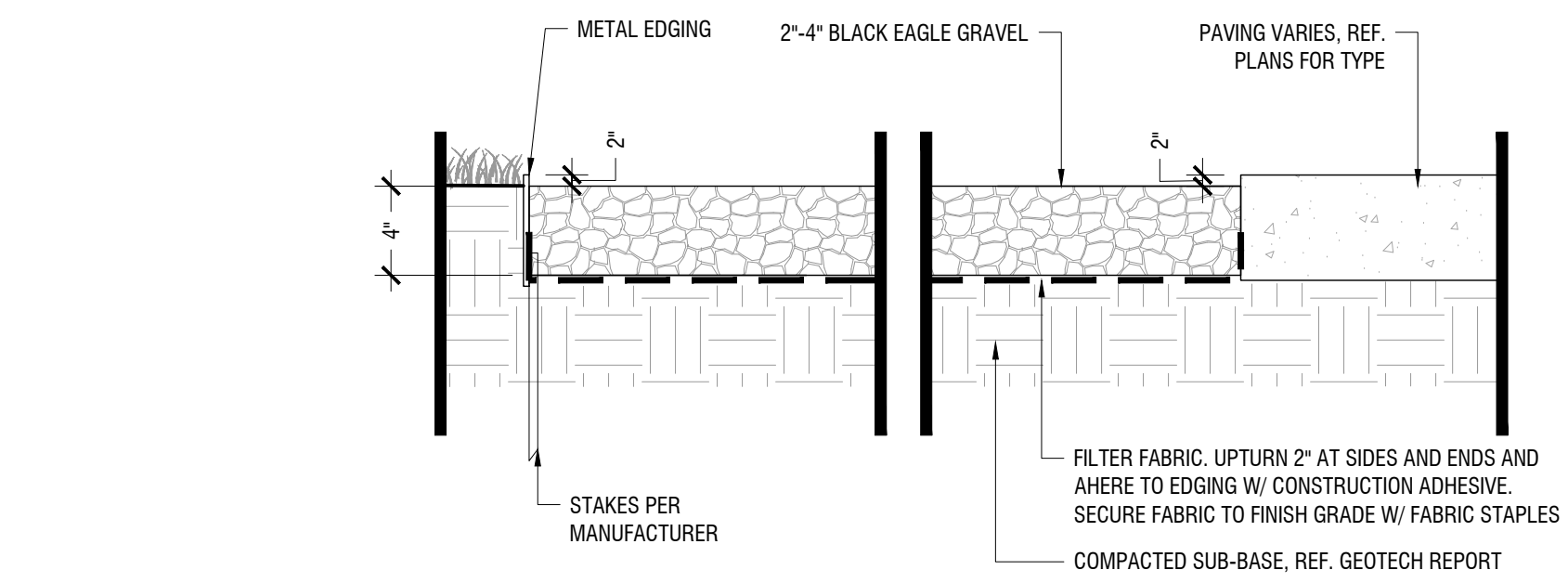


KHA PROJECT	068213100
DATE	FEBRUARY 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, LLC.
 ROCKWALL, TEXAS

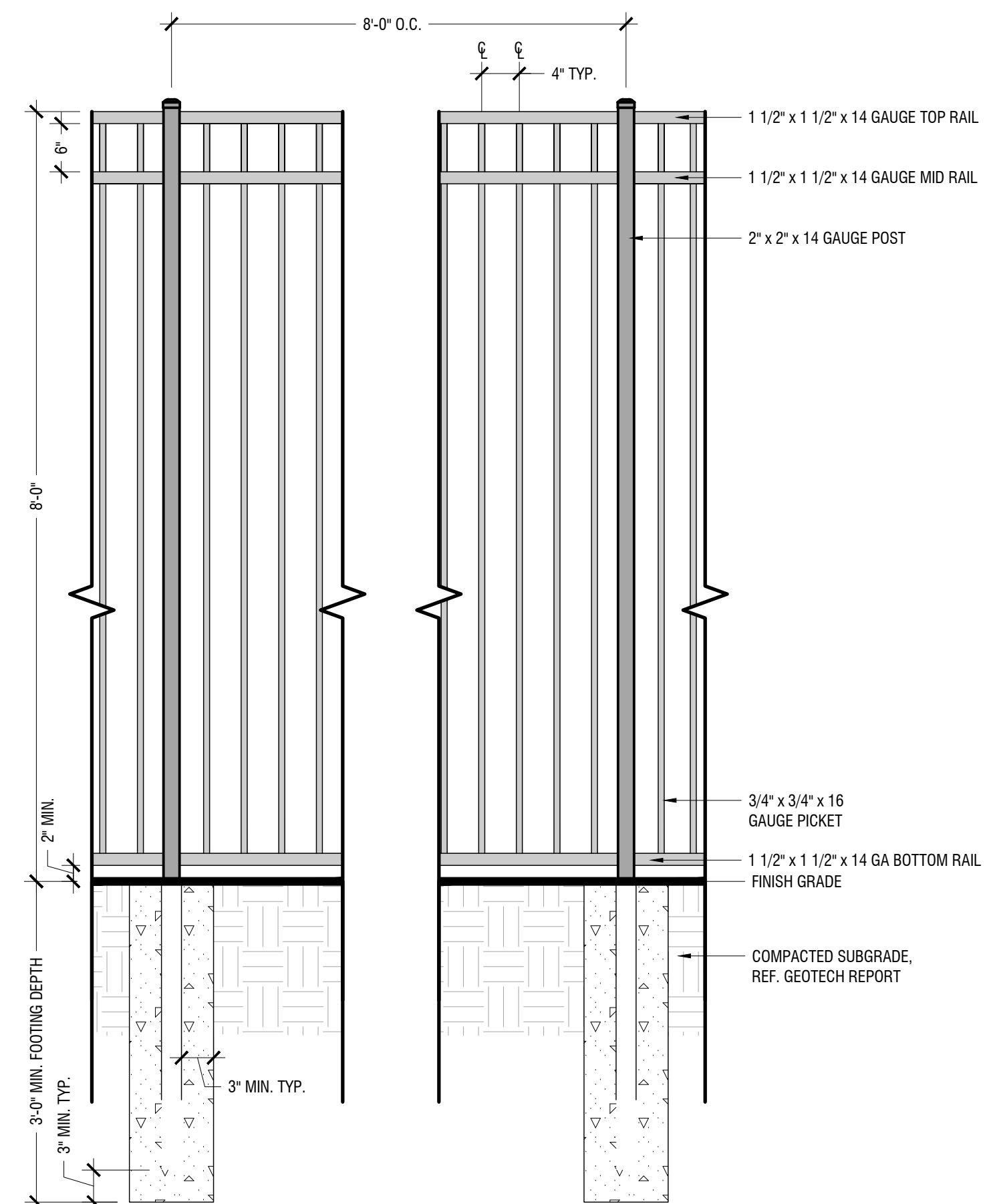
LANDSCAPE PLAN (5 OF 5)
 SHEET NUMBER
L-105

IMAGES: 06771602 decomposed granite - Stone Planting Details - Steel Edge @ Rock Cobble - ATB - LA - 06/06/2023 photos - Aggregate Detail
 XREFS AND PLOTTED BY: FLETCHER, MICHAEL 02/02/2023 2:07 PM
 DWG NAME: L-200 - STREAM ROCKWALL
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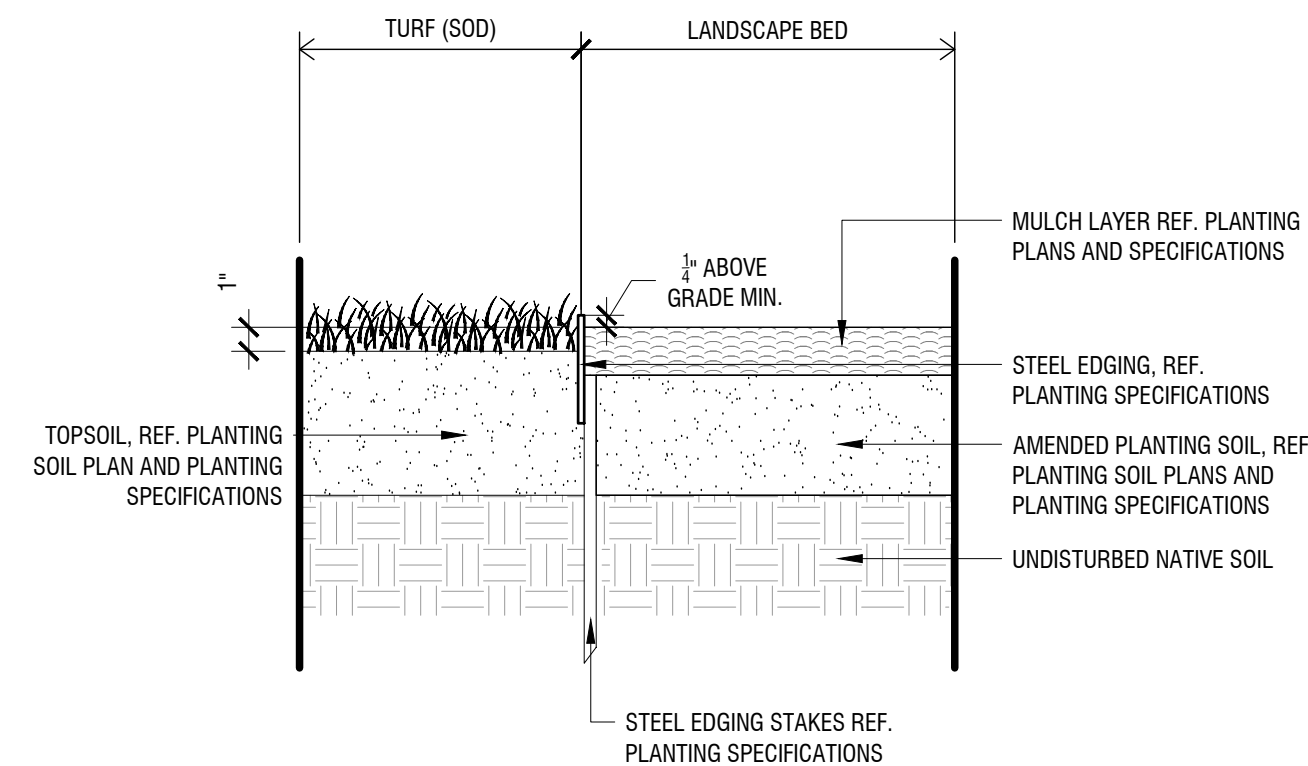
AGGREGATE AT CONCRETE AND PLANTING

Scale: NTS



8' HT. WROUGHT IRON SCREENING FENCE

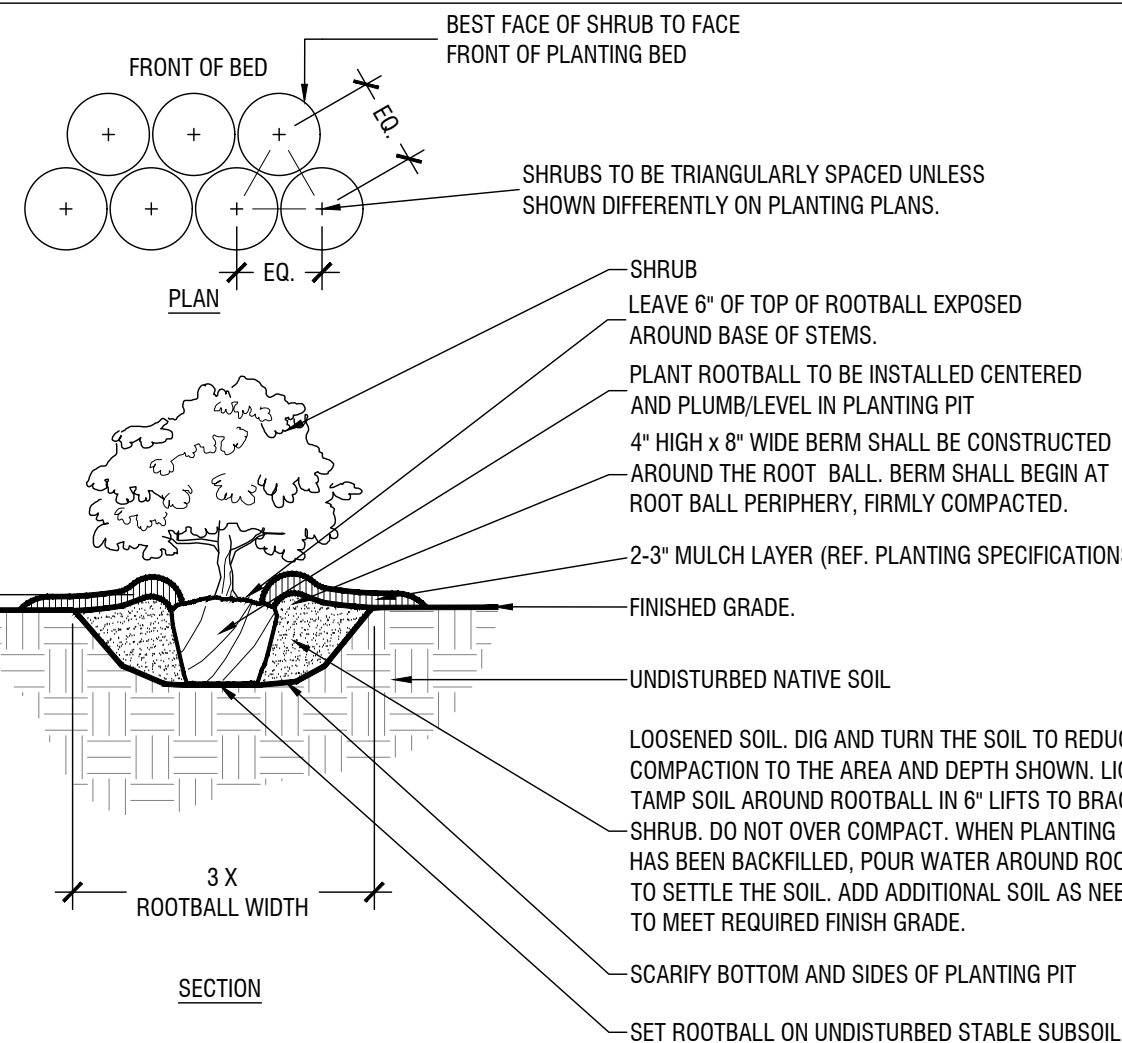
Scale: 3/4" = 1'-0"



STEEL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

- NOTES:
- REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - WHEN SHRUBS MASSES TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)
 - WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
 - REF. TO PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.

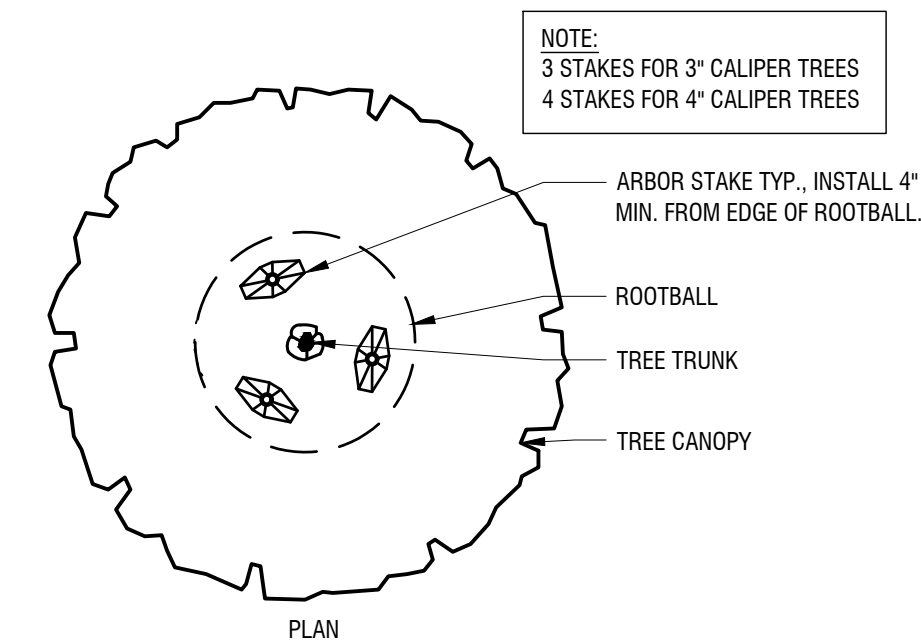


TYPICAL SHRUB PLANTING

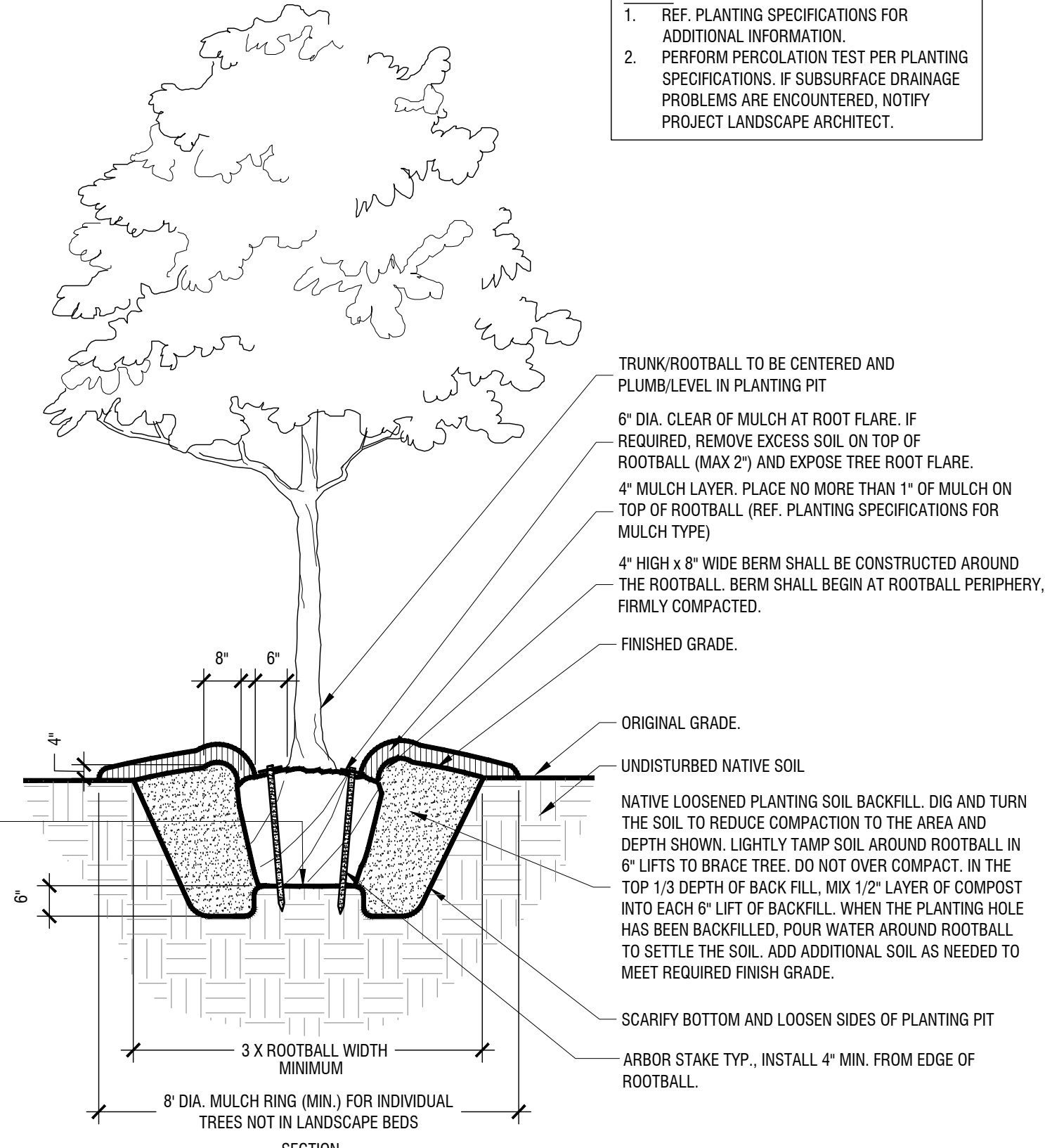
Scale: NTS

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLANS AND SPECIFIED IN THE PLANT SCHEDULE.
- CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS GIVEN IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANTING AREAS SHALL RECEIVE SOIL AMENDMENTS.
- PLANT MATERIAL SHALL BE PRUNED PER PLANTING DETAILS UNLESS OTHERWISE NOTED ON DRAWINGS.
- PLANTING AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL AND ORGANIC SELECT FILL FOR BUILDING OR PAVING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 2" UNLESS OTHERWISE NOTED. REPLACE MATERIAL REMOVED WITH IMPORTED TOPSOIL.
- TREES OVERHANGING PEDESTRIAN WALKS AND WITHIN VISIBILITY TRIANGLES AS NOTED ON THE PLANS SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET (7'). TREE OVERHANGING PUBLIC STREETS AND FREELANES SHALL BE LIMBED TO A HEIGHT OF FOURTEEN FEET (14').
- TREES PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMBED TO 7'6" (80" MIN.) AFF.
- ALL PROPOSED TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO ABOVE-GROUND STAKING SYSTEMS, GUY WIRES/WIRES, HOSES, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.



PLAN

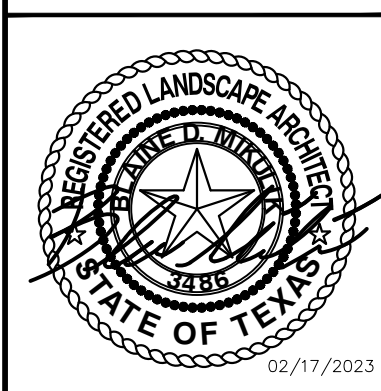


TYPICAL TREE PLANTING

Scale: NTS

No.	REVISIONS	DATE

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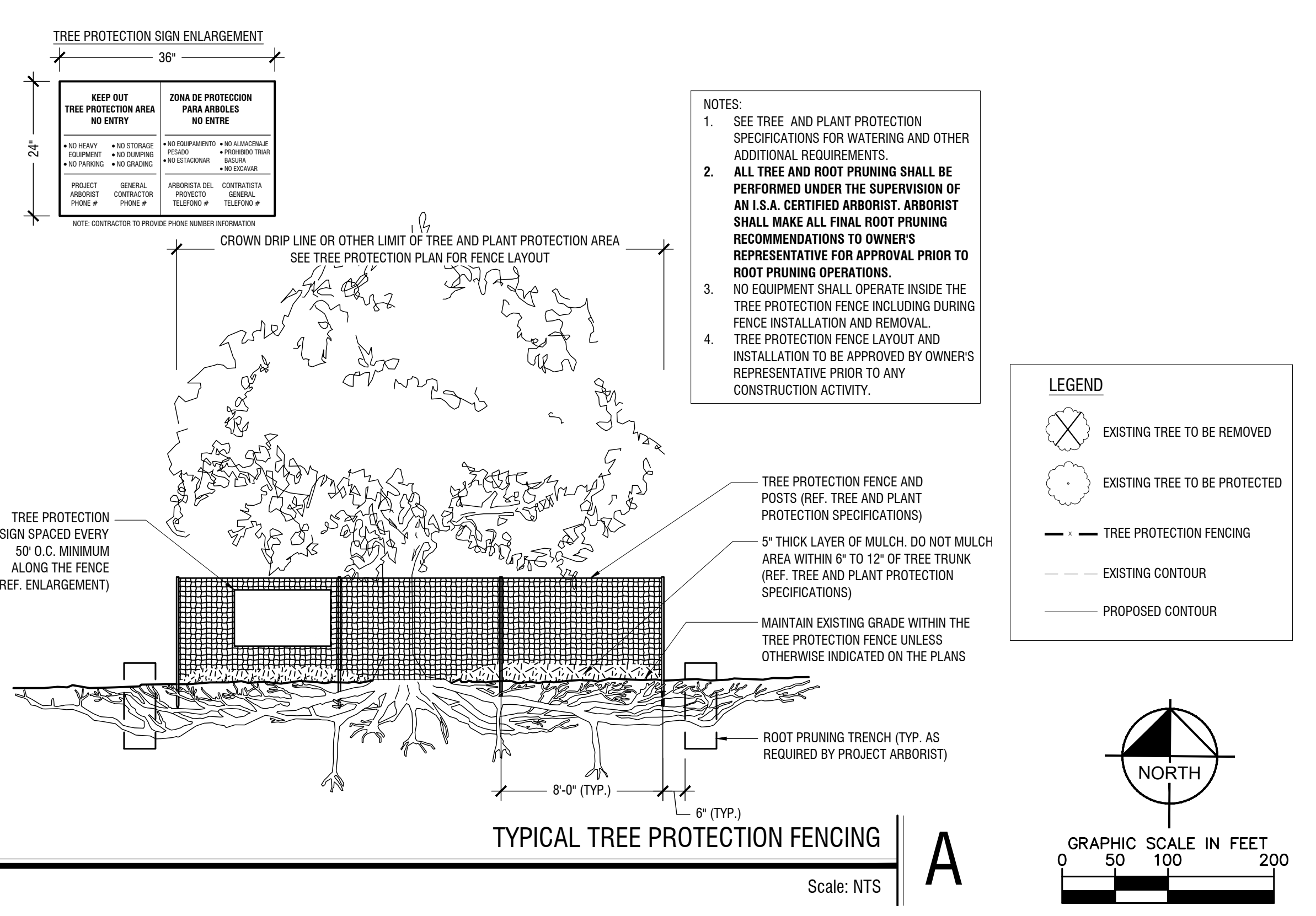
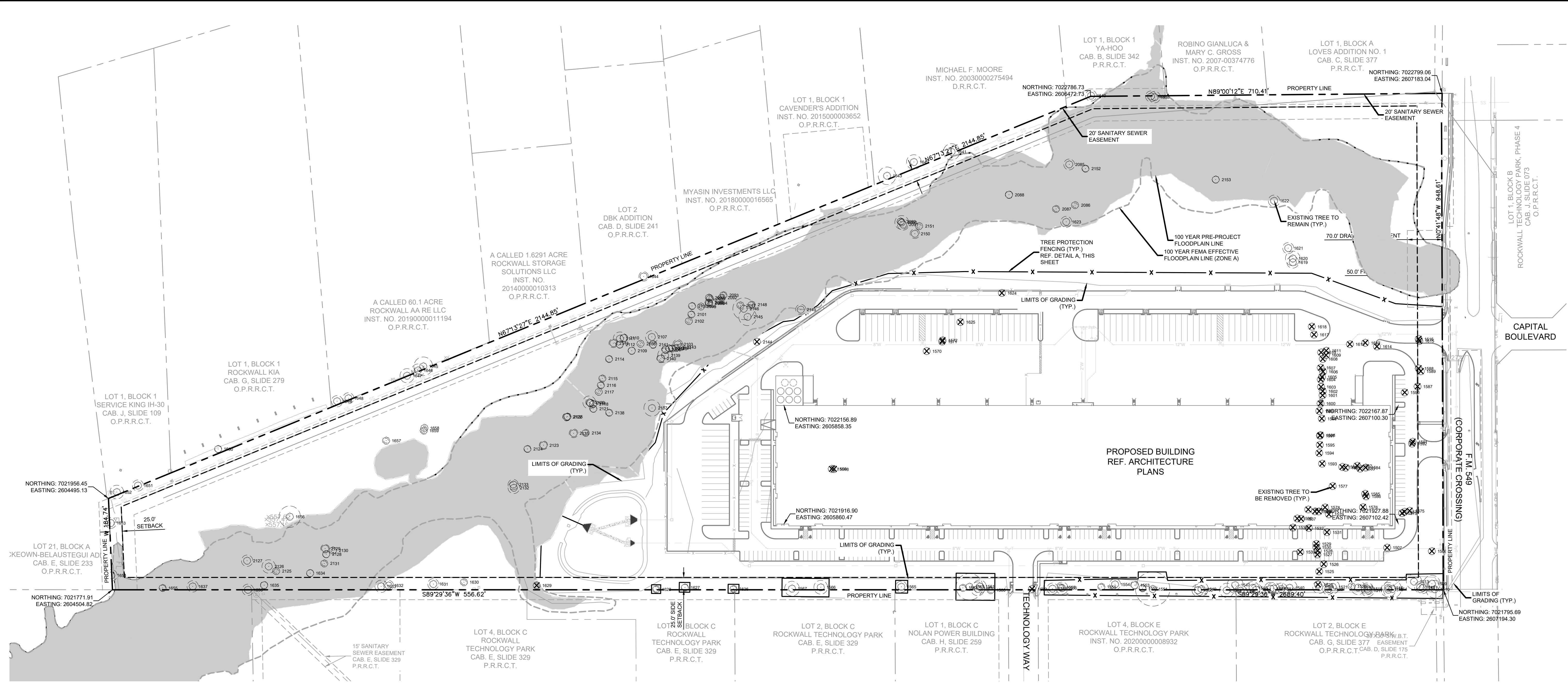


KHA PROJECT	068213100
DATE	FEBRUARY 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, LLC,
 TEXAS

LANDSCAPE DETAILS
 SHEET NUMBER
L-200

DATE: 02/17/2023
 XREFS: 086213100
 PLOTTED BY: FLETCHER, MEGAN 02/16/2023 2:08 PM
 DWG NAME: T-100 - TREE PRESERVATION PLAN.dwg
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REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 02/17/2023

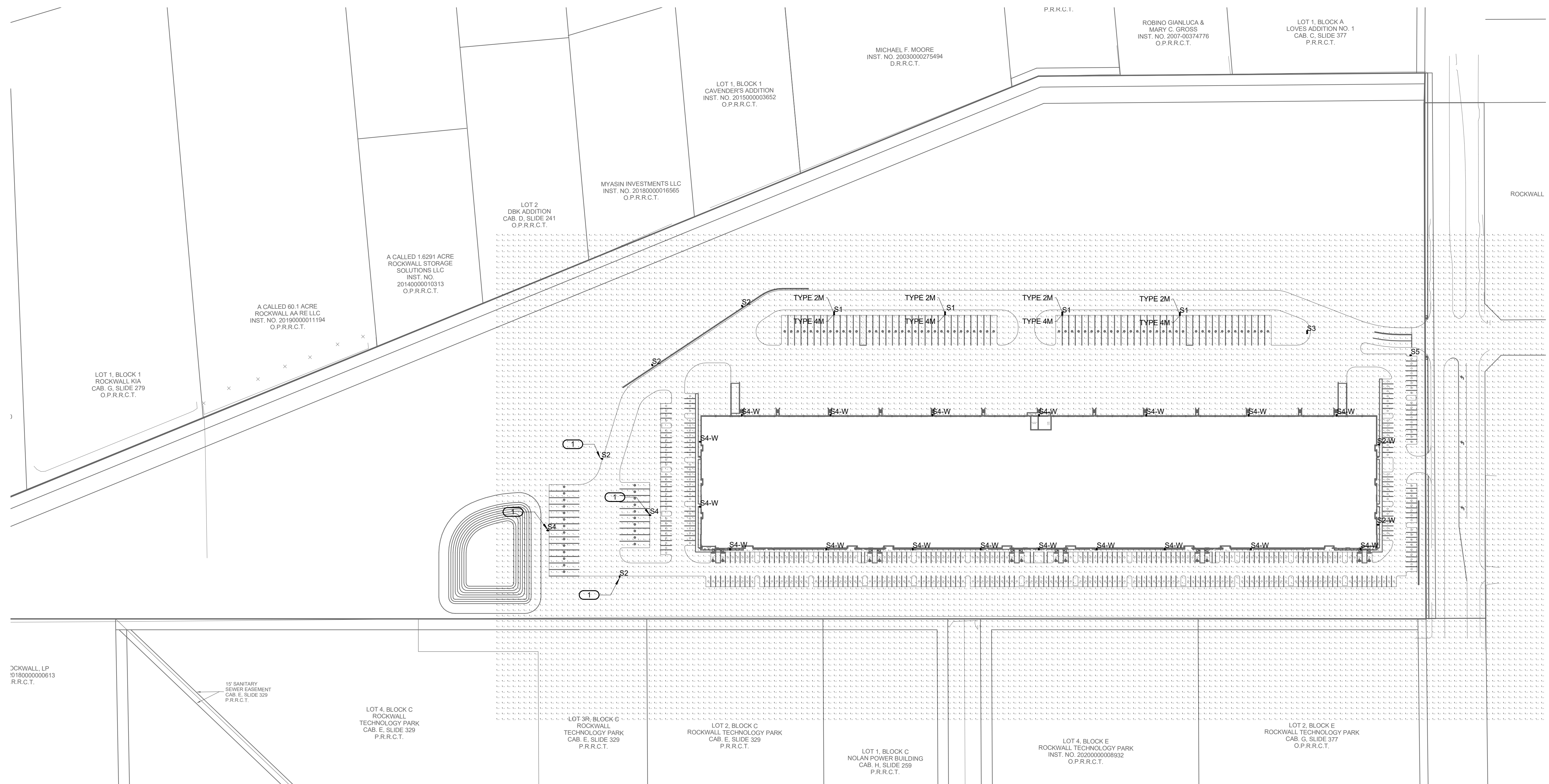
KHA PROJECT	086213100
DATE	FEBRUARY 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLP
CHECKED BY	BDW

STREAM ROCKWALL & TREESCPE PLAN & DETAIL

PREPARED FOR
STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

SHEET NUMBER
T-100

DATE: _____
 REVISIONS: _____
 No. _____



JCKWALL LP
10180000000613
P.R.R.C.T.

15' SANITARY
SEWER EASEMENT
CAB. E. SLIDE 329
P.R.R.C.T.

LOT 4, BLOCK C
ROCKWALL
TECHNOLOGY PARK
CAB. E. SLIDE 329
P.R.R.C.T.

LOT 3R, BLOCK C
ROCKWALL
TECHNOLOGY PARK
CAB. E. SLIDE 329
P.R.R.C.T.

LOT 2, BLOCK C
ROCKWALL TECHNOLOGY PARK
CAB. E. SLIDE 329
P.R.R.C.T.

LOT 1, BLOCK C
NOLAN POWER BUILDING
CAB. H. SLIDE 299
P.R.R.C.T.

LOT 4, BLOCK E
ROCKWALL TECHNOLOGY PARK
INST. NO. 2020000008862
O.P.R.R.C.T.

LOT 2, BLOCK E
ROCKWALL TECHNOLOGY PARK
CAB. G. SLIDE 377
O.P.R.R.C.T.



1 SITE PLAN - PHOTOMETRICS

1" = 100'-0"

NOTES BY SYMBOL "O"

- 1. FUTURE LIGHTS SHOWN FOR CALCULATION PURPOSES ONLY.

LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	LAMPS	MANUFACTURER/CATALOG NUMBER	BUG RATING	NOTES
S1	2 HEAD LED AREA LIGHT WITH (1) TYPE T4M DISTRIBUTION HEAD AND (1) TYPE 2M DISTRIBUTION HEAD MOUNTED AT 180 DEGREES ON 25' STRAIGHT SQUARE STEEL POLE.	642W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T4M-MVOLT-SPA-PIRH-DBDX LITHONIA DSX2 LED-P5-40K-T2M-MVOLT-SPA-PIRH-DBDX AMERICAN LITE POLE SNS-25-40-7-AB-DB-D28-BC	B4-U0-G4 B3-U0-G5	1
S2	LED AREA LIGHT WITH TYPE 2M DISTRIBUTION MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE.	321W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T2M-MVOLT-SPA-PIRH-DBDX AMERICAN LITE POLE SNS-25-40-7-AB-DB-D19-BC	B4-U0-G4	
S2-W	SIMILAR TO TYPE 'S2' EXCEPT BUILDING MOUNTED AT 30' ABOVE FINISHED GRADE.	321W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T2M-MVOLT-WBA-PIRH-DBDX	B4-U0-G4	
S3	(2) HEAD LED AREA LIGHT WITH (2) TYPE 2M DISTRIBUTION HEADS MOUNTED AT 180 DEGREES ON 25' STRAIGHT SQUARE STEEL POLE.	642W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T2M-MVOLT-SPA-PIRH-DBDX AMERICAN LITE POLE SNS-25-40-7-AB-DB-D28-BC	B2-U0-G5	
S4	LED AREA LIGHT WITH TYPE T4M DISTRIBUTION MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE.	321W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T4M-MVOLT-SPA-PIRH-DBDX AMERICAN LITE POLE SNS-25-40-7-AB-DB-D19-BC	B4-U0-G5	
S4-W	LED AREA LIGHT WITH TYPE T4M DISTRIBUTION AND WALL MOUNTING BRACKET MOUNTED AT 30' ABOVE FINISHED GRADE.	321W 4000K-LED	LITHONIA DSX2 LED-P5-40K-T4M-MVOLT-WBA-PIRH-DBDX	B4-U0-G5	
S5	LED AREA LIGHT WITH TYPE BLC DISTRIBUTION MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE.	321W 4000K-LED	LITHONIA DSX2 LED-P5-40K-BLC-MVOLT-SPA-PIRH-DBDX AMERICAN LITE POLE SNS-25-40-7-AB-DB-D19-BC	B5-U0-G5	

NOTES: 1. REFER TO PLANS FOR ORIENTATION OF HEADS.

NO.	REVISIONS	DATE

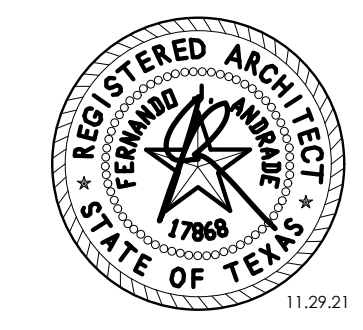
gsr andrade
ARCHITECTS
4121 Commerce St. Ste. 1
Dallas, Texas 75226
P 214.824.7040
F 214.887.0559



GGRA PROJECT 2966	DATE AUG 2021	SCALE AS SHOWN	DESIGNED BY SK	DRAWN BY SK	CHECKED BY MA
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ROCKWALL DISTRIBUTION CENTER
PREPARED FOR
STREAM REALTY
1515 CORPORATE CROSSING
ROCKWALL, TEXAS 75087



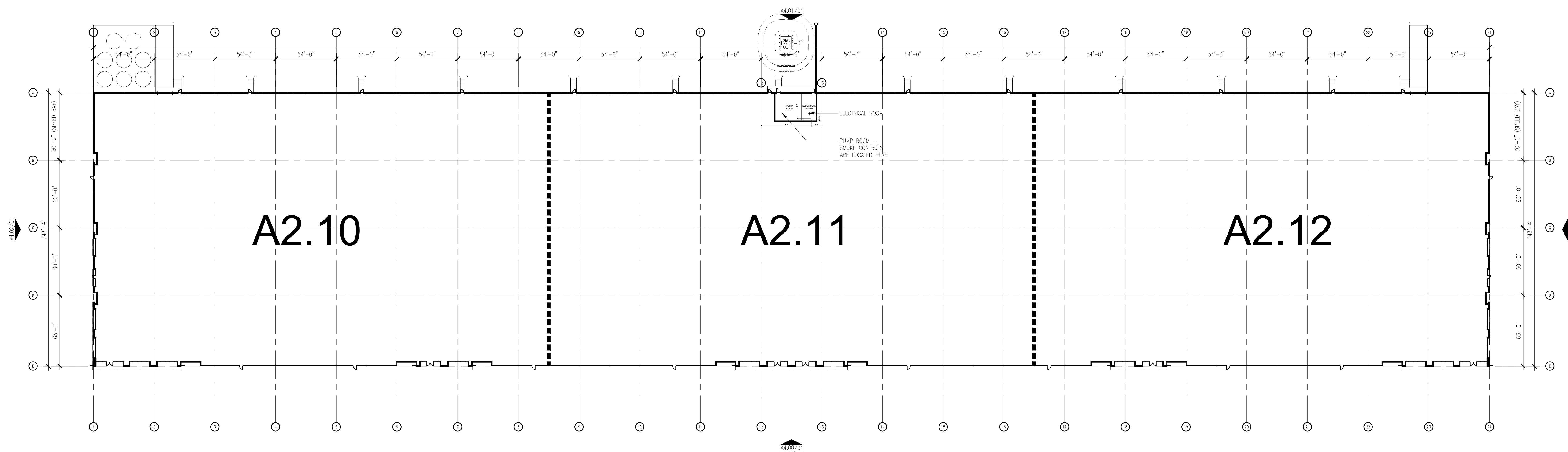


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Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Engineering Analysts, Inc. Structural Engineer
Venture Mechanical, Inc. Mechanical Engineer
Kilgore Industries Electrical Engineer
J.L. Parker Plumbing, Inc. Plumbing Engineer
Kimley-Horn Landscape Architect



- WAREHOUSE BUILDING**
- 10 MIL. VAPOR BARRIER UNDER ENTIRE SLAB, TYP.
 - EXPOSED STEEL ROOF STRUCTURE TO BE UNFINISHED & UNDERSIDE OF ROOF DECK TO BE FACTORY FINISHED WHITE
 - FULLY SPRINKLERED - ESFR SYSTEM
 - PAINT INTERIOR WALLS WHITE - OMIT PAINT WHERE INSULATION IS PROVIDED
 - PROVIDE EUCO 700 SEALANT (OR EQUAL) @ ALL CONSTRUCTION JOINTS IN SLAB
 - PROVIDE SEALANT & BACKER ROD @ BOTH INSIDE & OUTSIDE FACE OF TILT WALL PANELS
 - PAINT INSIDE FACE OF MAN DOORS WHITE TO MATCH ADJACENT WALLS
 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

01 OVERALL FLOOR PLAN
 SCALE: 1" = 30'-0"

PROJECT NO.:	2966
DATE:	11.29.21
REVISIONS:	
11.29.21	ISSUE FOR PERMIT

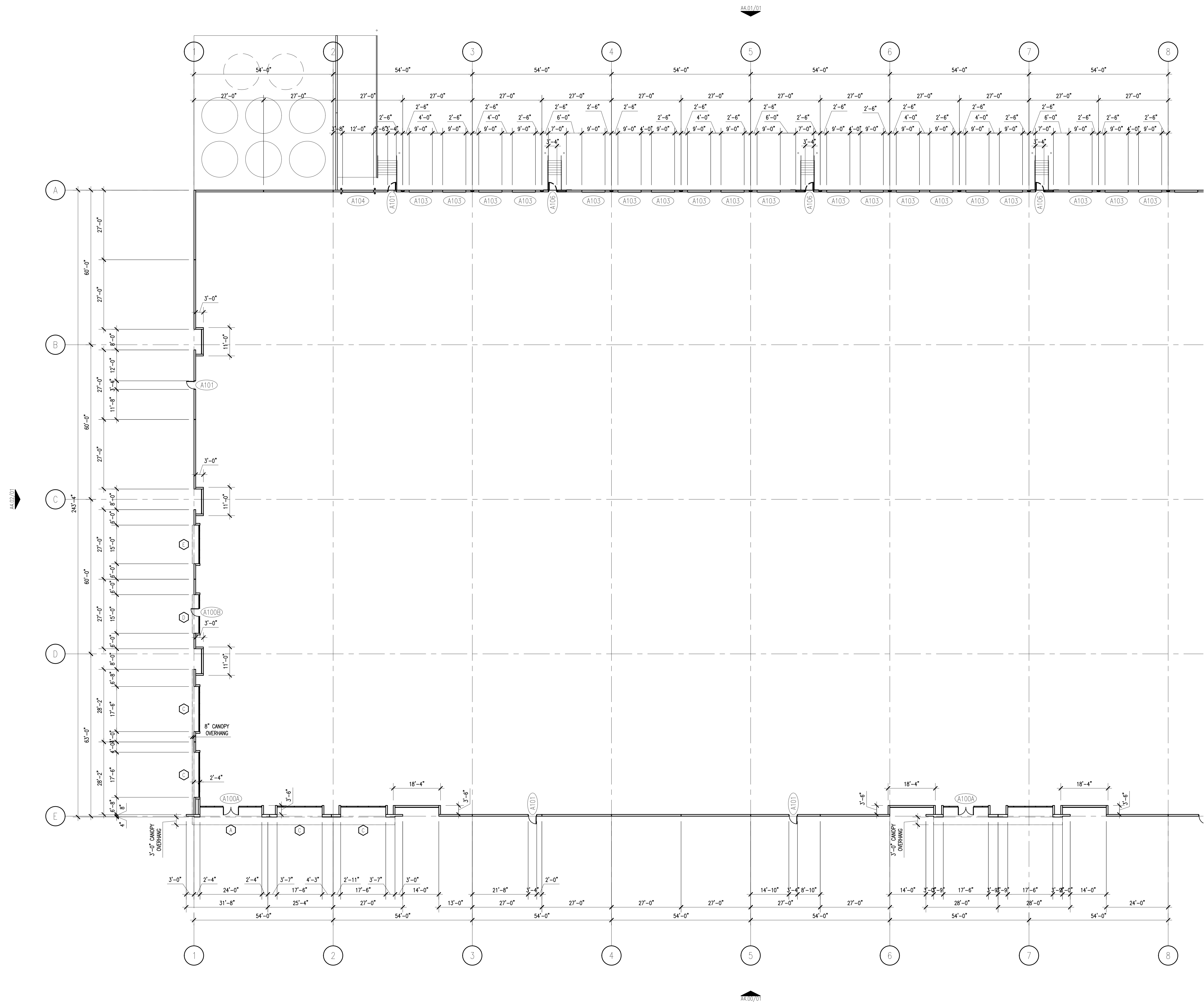
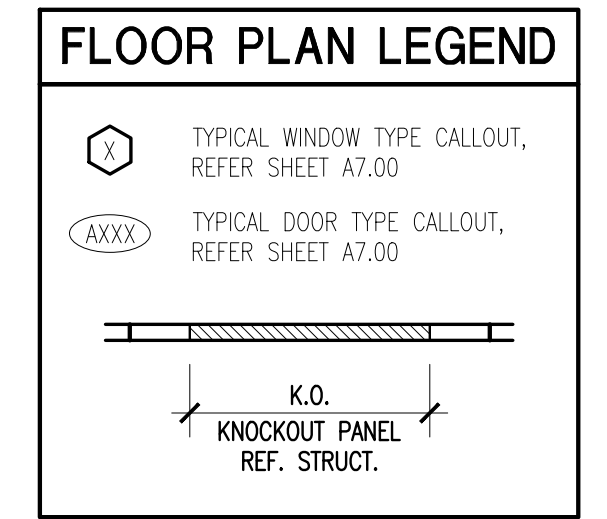
A2.00
 OVERALL FLOOR PLAN



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Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Engineering Analysts, Inc. Structural Engineer
Venture Mechanical, Inc. Mechanical Engineer
Kilgore Industries Electrical Engineer
J.L. Parker Plumbing, Inc. Plumbing Engineer
Kimley-Horn Landscape Architect

- FLOOR PLAN GENERAL NOTES**
- 10 MIL VAPOR BARRIER UNDER ENTIRE SLAB, TYP.
 - EXPOSED STEEL ROOF STRUCTURE TO BE UNFINISHED & UNDERSIDE OF ROOF DECK TO BE FACTORY FINISHED WHITE
 - PAINT INTERIOR WALLS WHITE, PAINT INSIDE FACE OF MAN DOORS WHITE TO MATCH ADJACENT WALLS
 - FULLY SPRINKLERED THROUGHOUT ENTIRE BUILDING WITH ESFR SYSTEM
 - PROVIDE EUCC 700 SEALANT (OR EQUAL) @ ALL CONSTRUCTION JOINTS IN SLAB
 - PROVIDED SEALANT & BACKER ROD @ BOTH INSIDE & OUTSIDE FACE OF TILT WALL PANELS
 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



ROCKWALL DISTRIBUTION CENTER

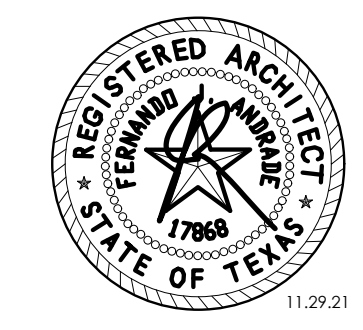
1515 CORPORATE CROSSING (F.M. 549)
ROCKWALL, TEXAS 75087

01 ENLARGED FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 PLAN NORTH TRUE NORTH

A2.10	A2.11	A2.12
KEY PLAN		

PROJECT NO.:	2966
DATE:	11.29.21
REVISIONS:	
11.29.21	ISSUE FOR PERMIT

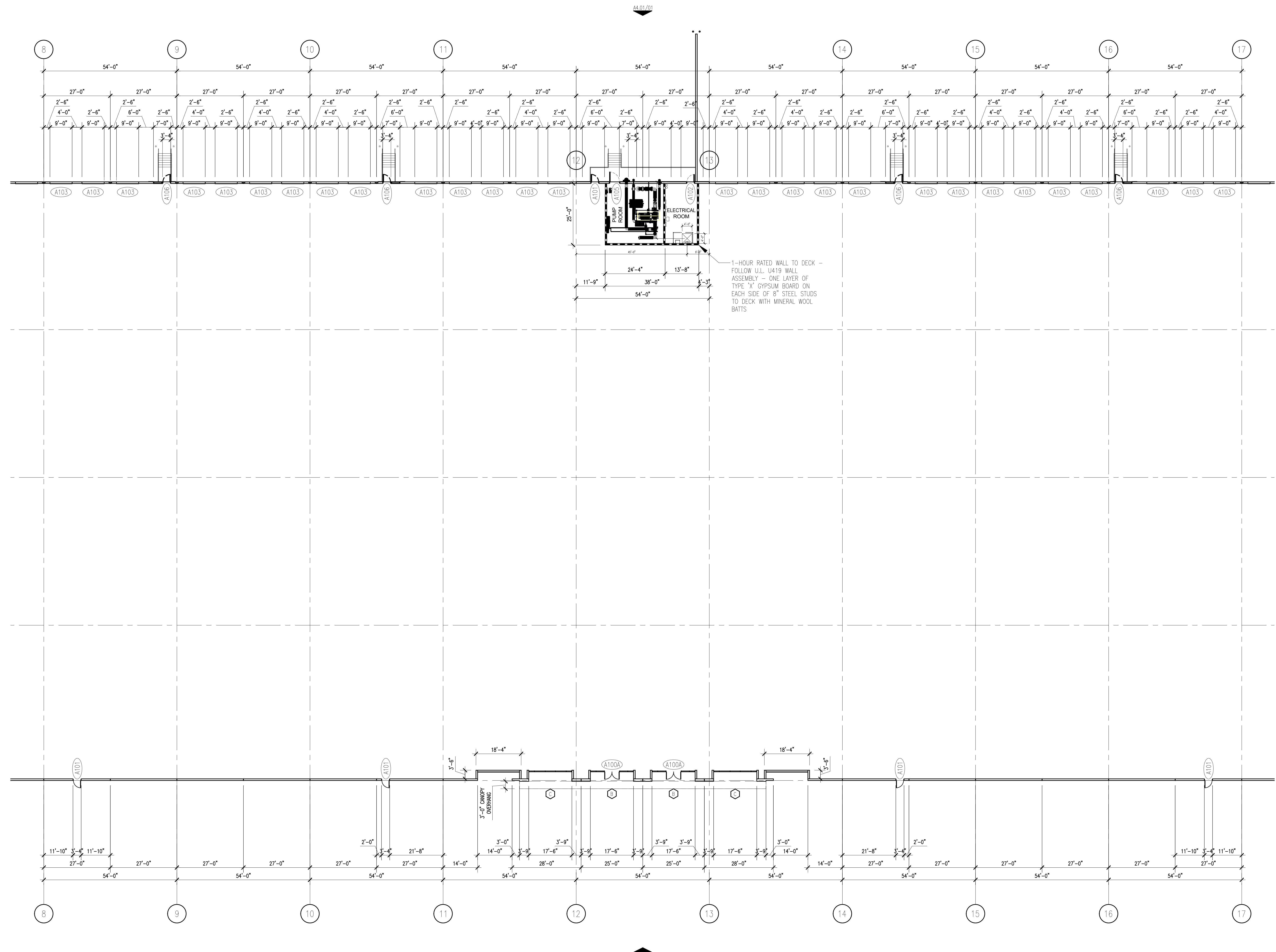
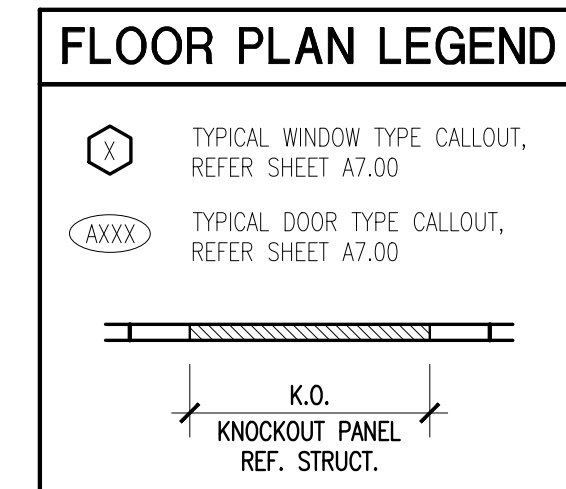
A2.10
ENLARGED FLOOR PLAN



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Fernando Andrade, AIA
Architect
Kimley-Horn
Civil Engineer
Engineering Analysts, Inc.
Structural Engineer
Venture Mechanical, Inc.
Mechanical Engineer
Kilgore Industries
Electrical Engineer
J.L. Parker Plumbing, Inc.
Plumbing Engineer
Kimley-Horn
Landscape Architect

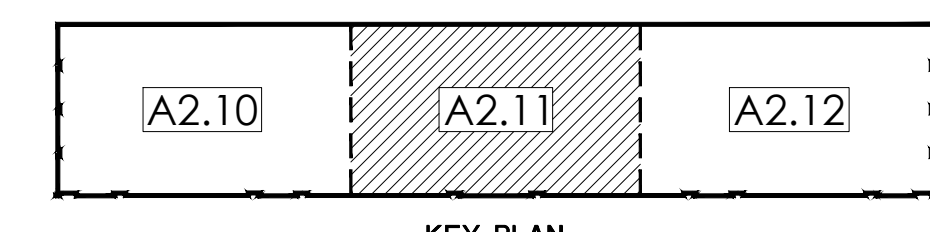
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 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
ROCKWALL, TEXAS 75087

01 ENLARGED FLOOR PLAN
SCALE: 1/16" = 1'-0"



PROJECT NO.: 2966
DATE: 11.29.21
REVISIONS:

11.29.21	ISSUE FOR PERMIT

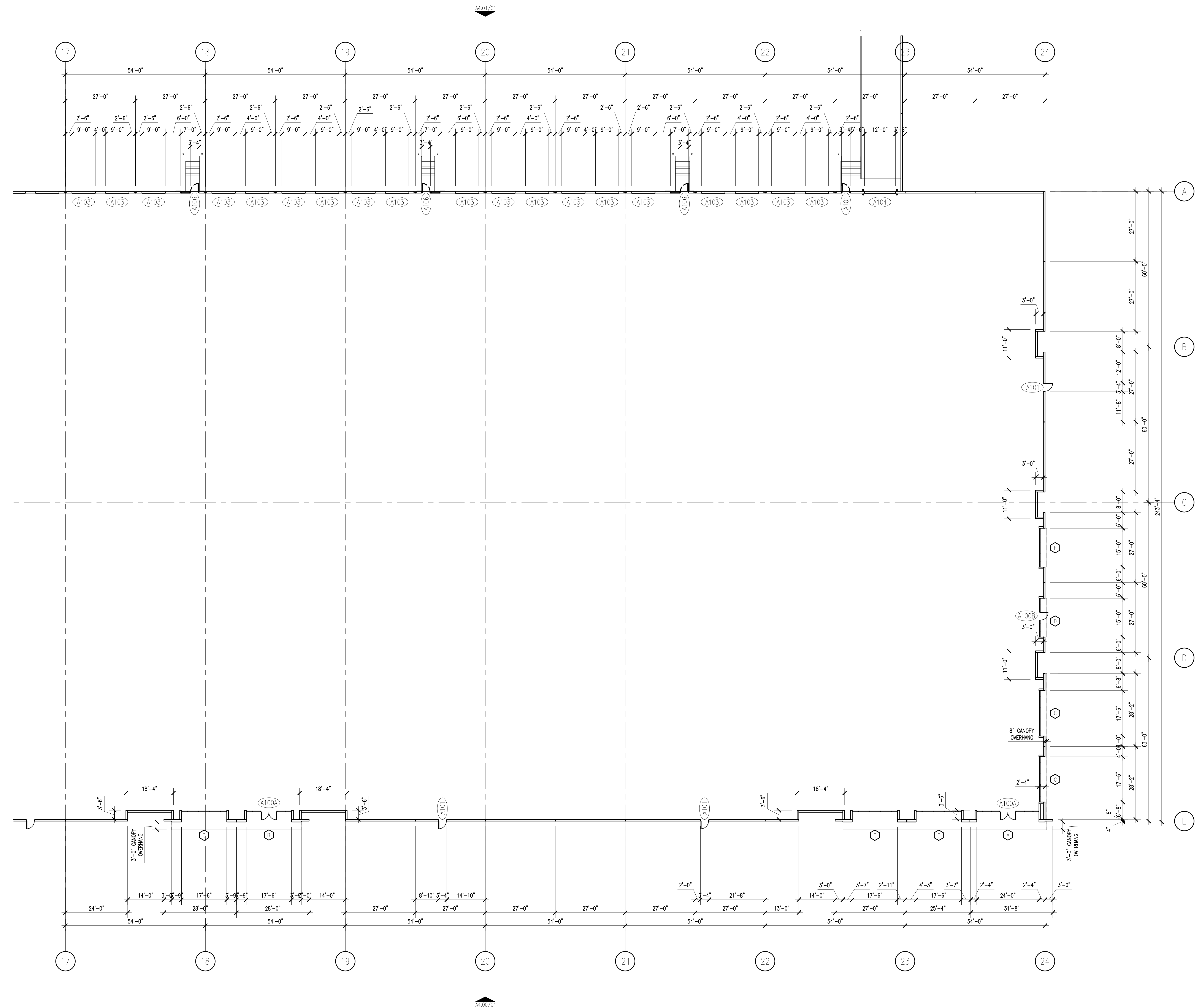
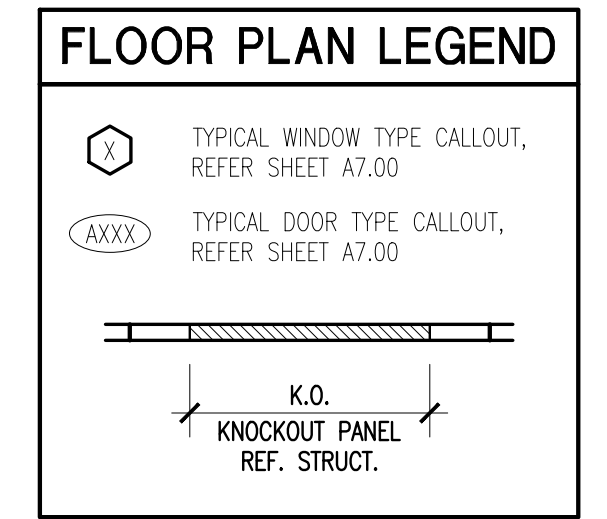
A2.11
ENLARGED FLOOR PLAN



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 Dallas, Texas 75226
 P 214.826.7910
 F 214.887.0589

Fernando Andrade, AIA
Architect
Kimley-Horn
Civil Engineer
Engineering Analysts, Inc.
Structural Engineer
Venture Mechanical, Inc.
Mechanical Engineer
Kilgore Industries
Electrical Engineer
J.L. Parker Plumbing, Inc.
Plumbing Engineer
Kimley-Horn
Landscape Architect

- FLOOR PLAN GENERAL NOTES**
- 10 MIL VAPOR BARRIER UNDER ENTIRE SLAB, TYP.
 - EXPOSED STEEL ROOF STRUCTURE TO BE UNFINISHED & UNDERSIDE OF ROOF DECK TO BE FACTORY FINISHED WHITE
 - PAINT INTERIOR WALLS WHITE, PAINT INSIDE FACE OF MAN DOORS WHITE TO MATCH ADJACENT WALLS
 - FULLY SPRINKLERED THROUGHOUT ENTIRE BUILDING WITH ESFR SYSTEM
 - PROVIDE EUCC 700 SEALANT (OR EQUAL) @ ALL CONSTRUCTION JOINTS IN SLAB
 - PROVIDED SEALANT & BACKER ROD @ BOTH INSIDE & OUTSIDE FACE OF TILT WALL PANELS
 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

01 ENLARGED FLOOR PLAN
 SCALE: 1/16" = 1'-0"

KEY PLAN

A2.10	A2.11	A2.12
-------	-------	-------

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

NO.	DATE	DESCRIPTION
1	11.29.21	ISSUE FOR PERMIT

A2.12
 ENLARGED FLOOR PLAN

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-007
PROJECT NAME: Site Plan for the McKinney Building
SITE ADDRESS/LOCATIONS: 365 RANCH TRL

CASE CAPTION: Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an office building on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Needs Review

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for an office building on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2023-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Please remove all proposed signage from the site plan. All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)
- I.5 The subject property will be required to be Final Plat, to establish the new lot lines and new easements.
- M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan:

- (1) Please provide a detail of the covered pavilion that includes an elevation. (Subsection 03.04, of Article 11)

- (2) The front building setback is 15-feet and not 25-feet. (Subsection 03.04. B, of Article 11)
- (3) Label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
- (4) There shall be no parking between the building and the Ranch Trail. (Subsection 07.03, of Article 05)
- (5) Please clarify if there is any proposed fencing. If so, please provide an exhibit of the proposed fence. All existing fencing may remain, but call them out on the site plan. Also, as a note, wrought iron would be the permitted fence type. (Subsection 08.02. F, of Article 08)
- (6) All pad mounted equipment must be screened with 5-gallon evergreen shrubs. (Subsection 01.05. C, of Article 05)
- (7) Please provide a dumpster detail that addresses the dumpster enclosure requirements, which are as follows. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards (Subsection 01.05. B, of Article 05)
- (8) Please clarify that there will be no outside storage.

M.8 Landscape Plan:

- (1) Please propose a different accent tree as Crape Myrtles are not permitted as an accent tree. (Subsection 05.03. B, of Article 08)
- (2) Please delineate the landscape buffer along Ranch Trail. (Subsection 05.01, of Article 08)

M.9 Treescape Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

M.10 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

M.11 Building Elevations:

1. Please remove the windows from the material percentages. Doors and windows do not count toward the total percentage. (Subsection 04.01, of Article 05)
2. The wall projection articulation requirement on the primary façade does not meet the requirements (Wall Projection = 25% of Building Height). The wall length requirement on the secondary façade does not meet the requirements (Wall Length = 3 x Building Height). In this case, these will require an exception request. (Subsection 04.01. C, of Article 05)

I.12 Staff has identified the following exceptions and variances associated with the proposed request: [1] primary articulation, and [2] secondary articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Needs Review

- 02/22/2023: - Fire lane to have a minimum of 20' radius.
- Must show existing and proposed utilities including detention.
- Remove signage from plans. Must have a separate permit through Building Department.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Need to indicate that the dimensions shown on SP-1.1 are face of curb and edge of paving.

Drainage Items:

- Detention is required. Manning's c-value is determined by land use.
- Must have a WOTUS and wetland study to fill in the pond or using it as detention.
- If using the pond as detention, must expand the pond above existing conditions for detention volume.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- Drainage must exit the site in a sheet flow condition, or off-site sewer extension and easements to the creek to the east.

Water and Wastewater Items:

- Looping of 8" water line on site may be required depending on hydrant location and other utilities.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- Sewer Pro-rata of \$432.74/acre
- Water and sewer must be 10' apart.
- Sanitary sewer will need to be extended to north property line along Ranch Trail Road if not already constructed.
- Utility crossings of Ranch Trail Road must be by bore or full panel replacement 2" thicker than existing.

Roadway Paving Items:

- Parking to be 20'x9'
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Driveways must be 200' away from the intersection of Ranch Trail and County Line.
- Minimum driveway spacing from other driveways is 100' (existing and proposed).
- ROW dedication along Ranch Trail will most likely be required.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Needs Review

02/23/2023: Fire Department Connection (FDC) shall be facing and visible from the fire lane.
FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from the fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved w/ Comments

02/21/2023: Address Assignment will be 365 RANCH TRAIL, ROCKWALL, TX 75032

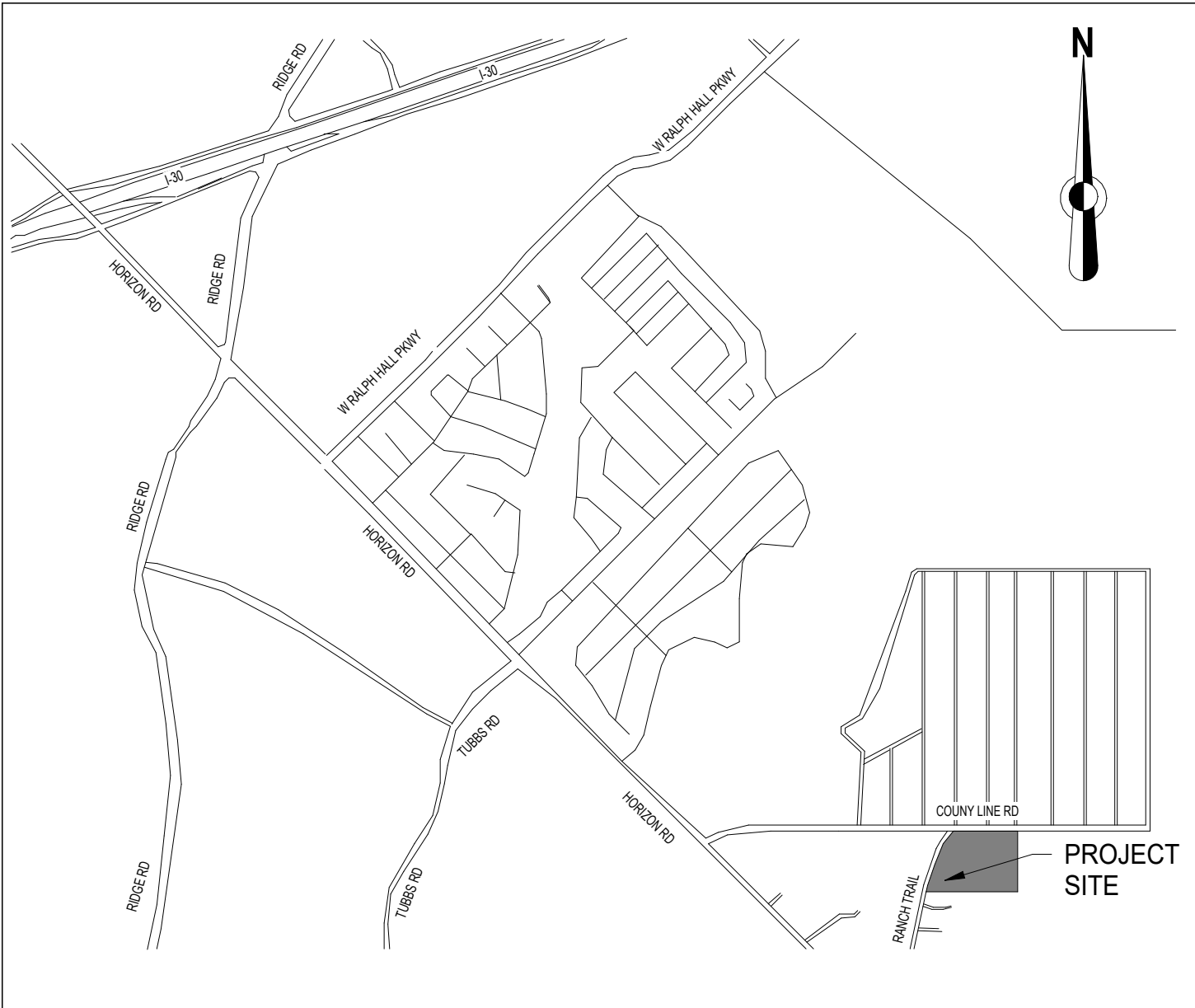
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved w/ Comments

02/21/2023: 1. Landscape Plan approved

2. Tree Mitigation Plan approved



VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRIS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EB	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRCT	Deed Records Rockwall County, Texas

C2LA LLC
MAVERICK RANCH
BLOCK A, LOT 1
ACRES 1.203

Remove signage from plans. Must have a separate permit through Building Department

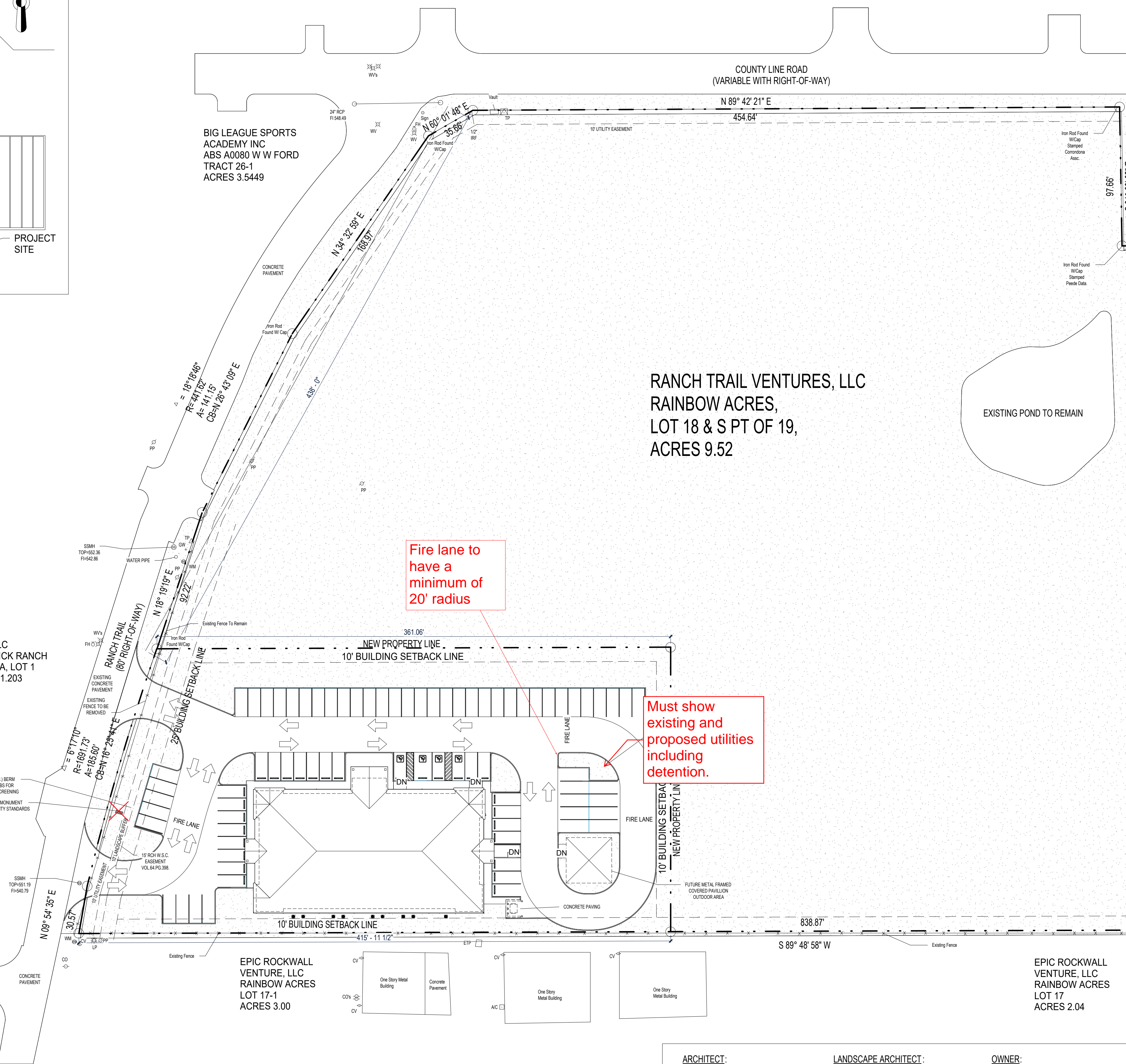
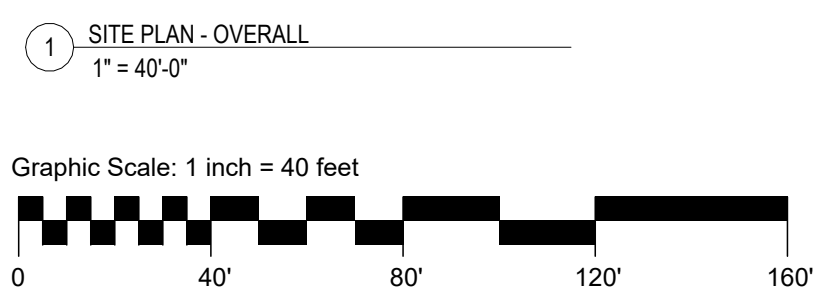
CPV-354 RANCH TRAIL LLC
MAVERICK RANCH BLOCK A, LOT 2
ACRES 1.360

BIG LEAGUE SPORTS ACADEMY INC
ABS A0080 W W FORD TRACT 26-1
ACRES 3.5449

RANCH TRAIL VENTURES, LLC
RAINBOW ACRES,
LOT 18 & S PT OF 19,
ACRES 9.52

EPIC ROCKWALL VENTURE, LLC
RAINBOW ACRES LOT 17-1
ACRES 3.00

EPIC ROCKWALL VENTURE, LLC
RAINBOW ACRES LOT 17
ACRES 2.04



- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
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 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

ARCHITECT:
BROADSTONE DESIGN GROUP
401 PINSON ROAD
FORNEY, TX 75126
DAN WHALEN II
(214) 295-5280
DWHALEN@ELDENGEERING.COM

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
15455 DALLAS PKWY, STE 600
ADDISON, TX 75001
ERIC SHEPLEY
(800) 680-6630 X 11
ERIC@EVERGREENDESIGNGROUP.COM

OWNER:
M & J RANCH TRAIL HOLDINGS, LLC.
315 RANCH TRAIL
ROCKWALL, TX 75023
JOHN MCKINNEY / MICHAEL DAUL
(214) 304-2979
JMCKINNEY@SNAPMGA.COM
MDAUL@SNAPMGA.COM

CIVIL ENGINEER:
ERIC L. DAVIS ENGINEERING, INC.
401 PINSON ROAD
FORNEY, TX 75126
MITCH LENAMOND
(972) 564-0592
MLENAMOND@ELDENGEERING.COM

MEP ENGINEER:
APE ENGINEERING
1340 DOVE DRIVE
MIDLOTHIAN, TX 76065
RUSSELL LAQUEY
(972) 351-7550
RUSLAQUEY@YAHOO.COM

REGISTERED ARCHITECT
ERIC L. DAVIS
STATE OF TEXAS
18972

02-17-2023

BROADSTONE DESIGN GROUP

DSDD
401 Pinson Road
Forney, TX 75126
214.295.5280
www.broadstonedg.com

OVERALL
MCKINNEY BUILDING
405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & S PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

Eric L. Davis Engineering, Inc.
401 Pinson Road
Forney, TX 75126
772.564.0592
www.eldengineering.com

SP-1.0
CASE NUMBER _____

02-17-2023

DOVE AND FOREGOING SITE PLAN
OF ROCKWALL, TEXAS, WAS
AND ZONING COMMISSION OF THE
DAY OF _____

_____, CHAIRMAN

_____, ENGINEER



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

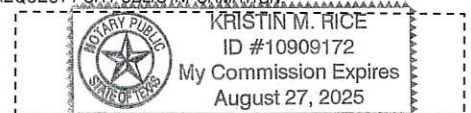
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE

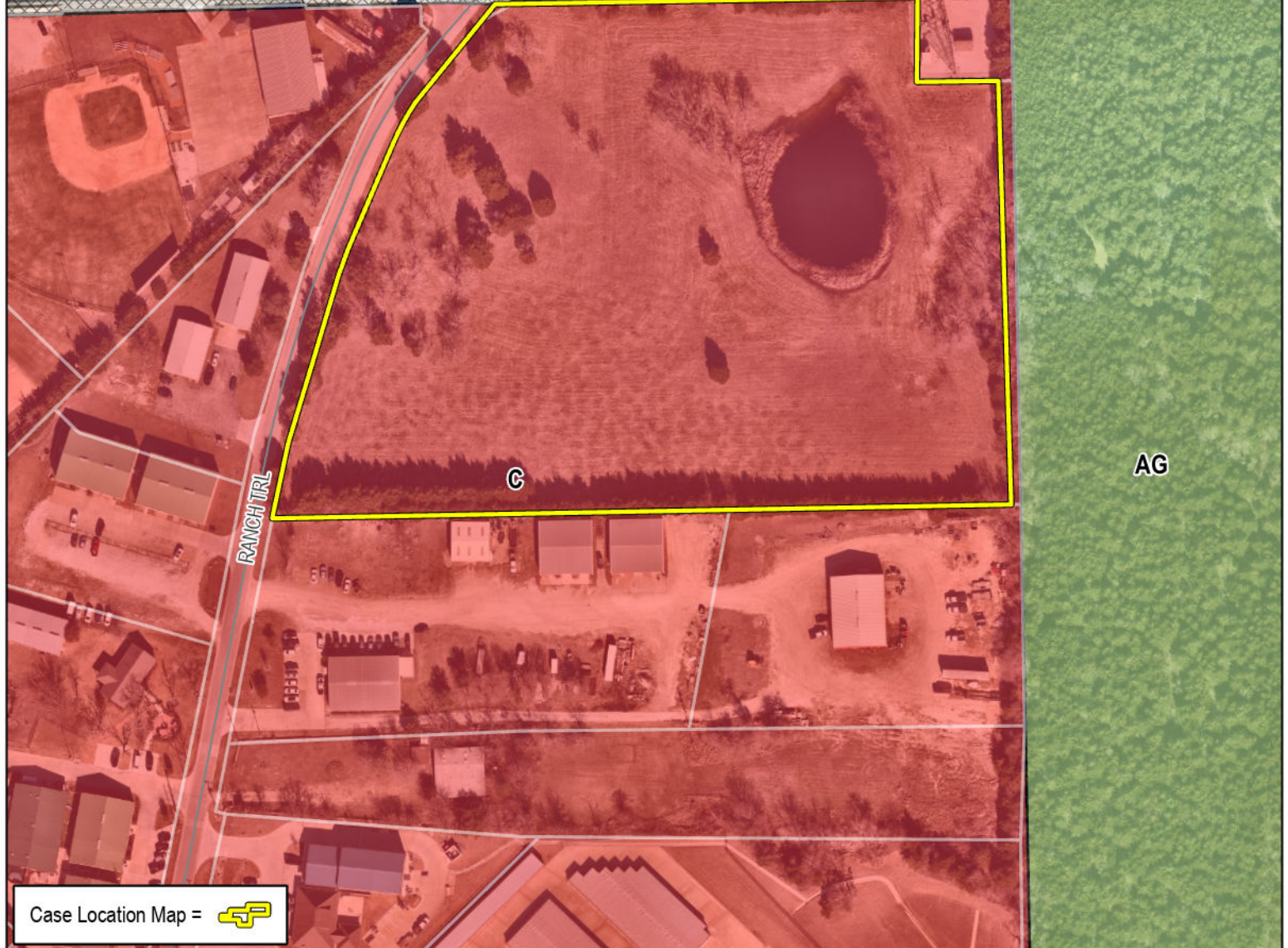
John McKinney

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES



Case Location Map = 

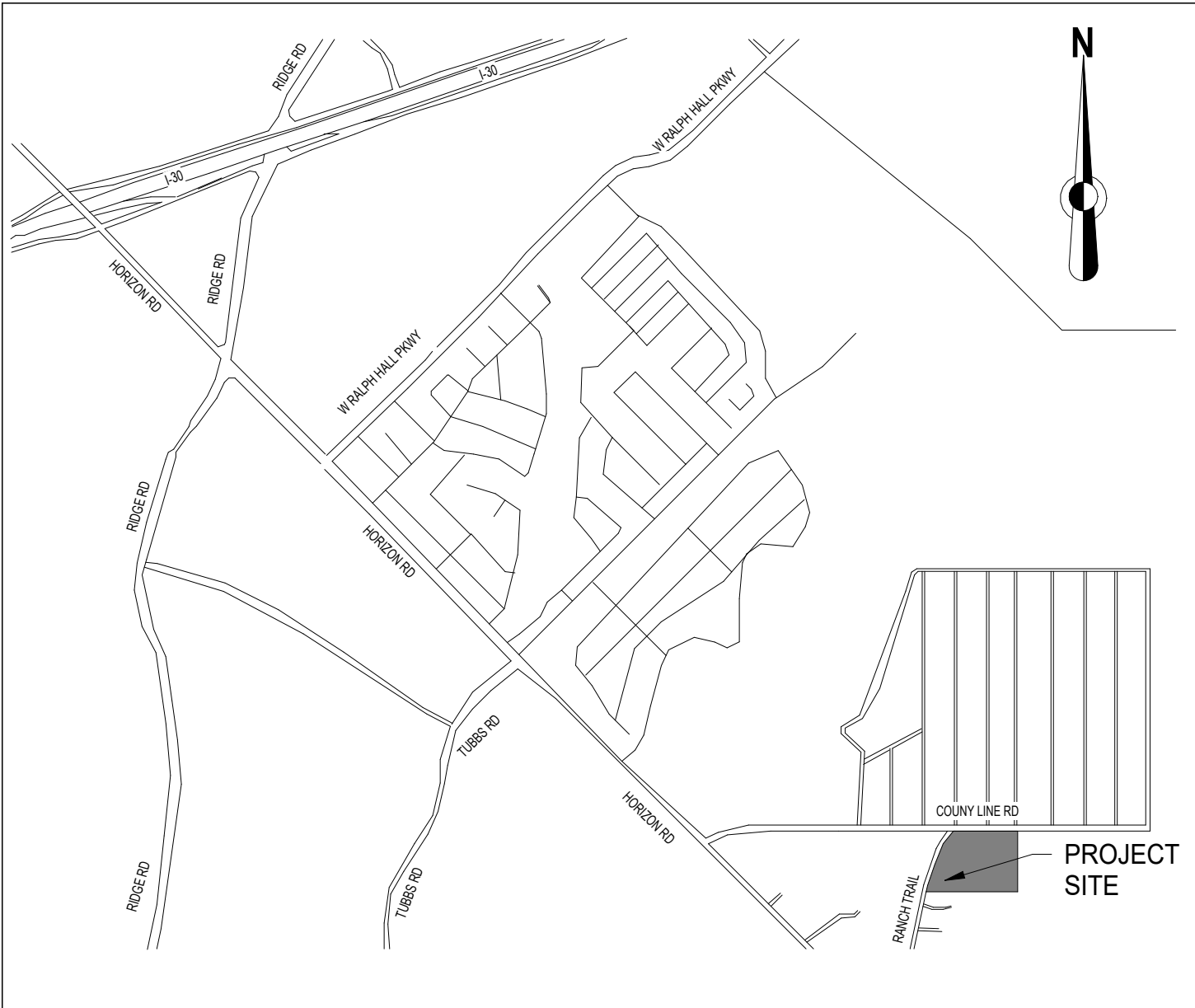


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EM	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRCT	Deed Records Rockwall County, Texas

CPIV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360

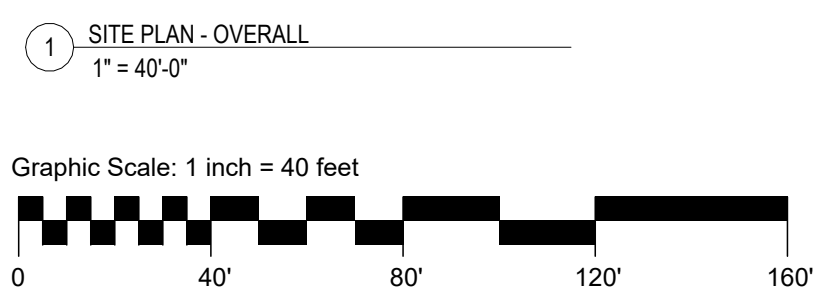
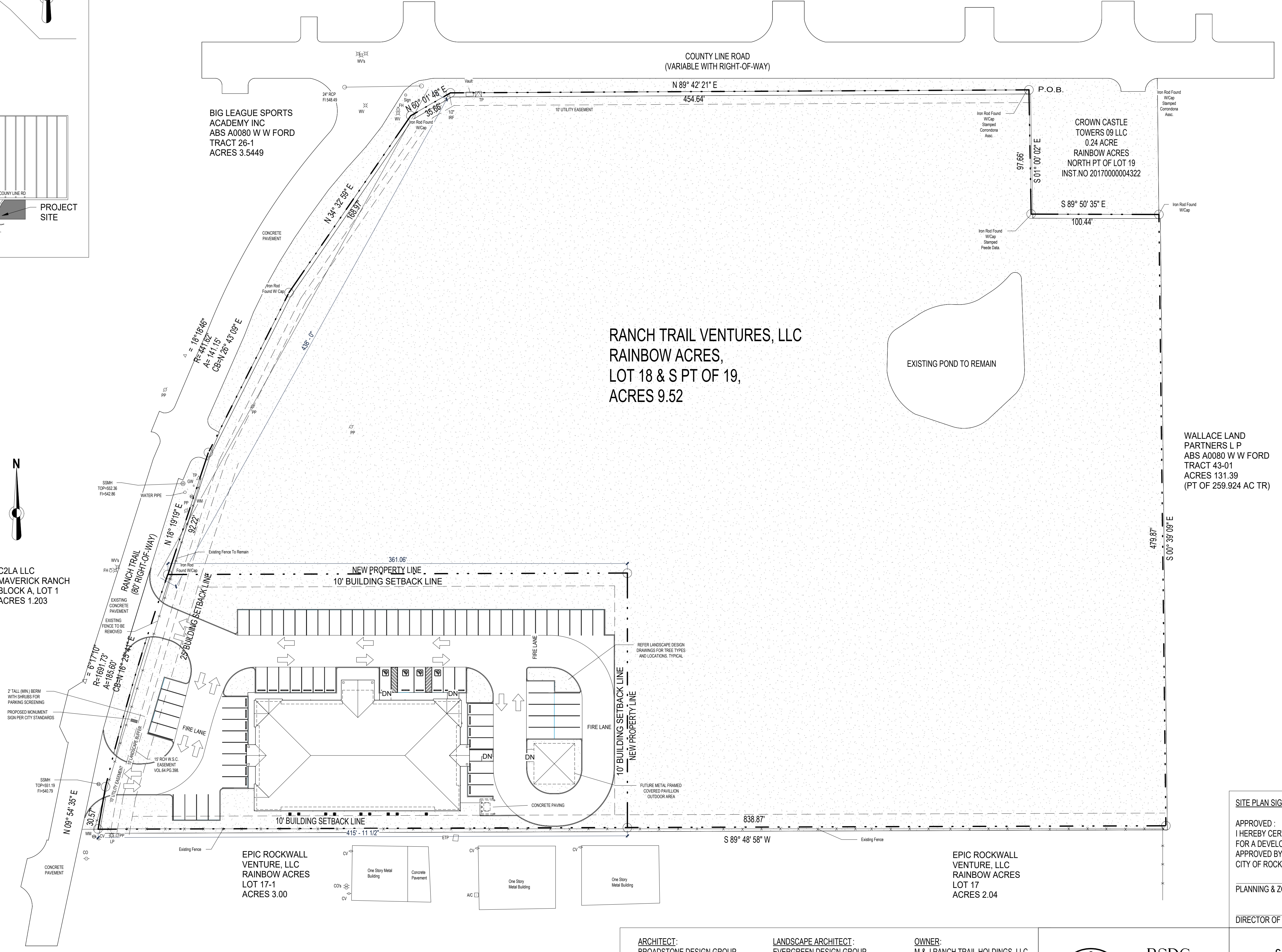
C2LA LLC MAVERICK RANCH BLOCK A, LOT 1 ACRES 1.203

BIG LEAGUE SPORTS ACADEMY INC ABS A0080 W W FORD TRACT 26-1 ACRES 3.5449

RANCH TRAIL VENTURES, LLC RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

WALLACE LAND PARTNERS L P ABS A0080 W W FORD TRACT 43-01 ACRES 131.39 (PT OF 259.924 AC TR)

CROWN CASTLE TOWERS 09 LLC 0.24 ACRE RAINBOW ACRES NORTH PT OF LOT 19 INST. NO 2017000004322



SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____

DIRECTOR OF PLANNING & ZONING _____

ARCHITECT:
BROADSTONE DESIGN GROUP
401 PINSON ROAD
FORNEY, TX 75126
DAN WAHLEN II
(214) 295-5280
DWAHLEN@ELDENGEERING.COM

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP
15455 DALLAS PKWY, STE 600
ADDISON, TX 75001
ERIC SHEPLEY
(800) 680-6630 X 11
ERIC@EVERGREENDESIGNGROUP.COM

CIVIL ENGINEER:
ERIC L. DAVIS ENGINEERING, INC.
401 PINSON ROAD
FORNEY, TX 75126
MITCH LENAMOND
(972) 564-0592
MLENAMOND@ELDENGEERING.COM

MEP ENGINEER:
APE ENGINEERING
1340 DOVE DRIVE
MIDLOTHIAN, TX 78065
RUSSELL LAQUEY
(972) 351-7550
RUSLAQUEY@YAHOO.COM

OWNER:
M & J RANCH TRAIL HOLDINGS, LLC.
315 RANCH TRAIL
ROCKWALL, TX 75023
JOHN MCKINNEY / MICHAEL DAUL
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REGISTERED ARCHITECT
ERIC L. DAVIS
STATE OF TEXAS
18972

02-17-2023

BSDG
401 Pinson Road
Forney, TX 75126
214.295.5280
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Eric L. Davis Engineering, Inc.
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Forney, TX 75126
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SITE PLAN - OVERALL

MCKINNEY BUILDING
405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & S PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

SP-1.0

CASE NUMBER _____

02-17-2023

PROJECT SITE PLAN DATA

GENERAL
 EXISTING USE: VACANT PROPERTY
 PROPOSED USE: OFFICE BUILDING
 EXISTING ZONING DISTRICT: C COMMERCIAL
 PROPOSED ZONING DISTRICT: C COMMERCIAL
 APPLICABLE ZONING OVERLAYS: N/A
 ROCKWALL COUNTY APPRAISAL DISTRICT
 ACCOUNT NUMBER: 87534

OVERALL SITE
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES
 SITE FRONTAGE: 216 FT
 SITE WIDTH: 200 FEET
 SITE DEPTH: VARIES 361 FEET TO 416 FEET
 IMPERVIOUS SURFACE AREA: 54,505 SF
 PERVIOUS SURFACE AREA: 23,809 SF

BUILDING
 TOTAL GROSS INTENSITY (FAR): 0.16: 1
 TOTAL SQUARE FOOTAGE: 13,080 SF
 COMMERCIAL (SF): 13,080 SF
 INDUSTRIAL (SF): N/A
 OTHER (SF): N/A

PROPERTY DEVELOPMENT REGULATIONS
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

SETBACKS (REQUIRED & PROPOSED):
 FRONT SETBACK: 25 FEET / 25 FEET
 SIDE SETBACK: 10 FEET / 10 FEET
 REAR SETBACK: 10 FEET / 10 FEET
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44
 PROVIDED PARKING: 78

REQUIRED ADA PARKING: 4
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE
 ADA STANDARD: 9' X 20'

SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13468 SF
GROSS PARKING AREA	IMPERVIOUS	37622 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	937 SF
SIDEWALK	IMPERVIOUS	164 SF
SIDEWALK	IMPERVIOUS	956 SF
SIDEWALK	IMPERVIOUS	364 SF
SIDEWALK	IMPERVIOUS	95 SF
IMPERVIOUS		54505 SF

LANDSCAPE (GENERAL)	PERVIOUS	17652 SF
LANDSCAPE BUFFER	PERVIOUS	1647 SF
LANDSCAPE BUFFER	PERVIOUS	456 SF
LANDSCAPE BUFFER	PERVIOUS	356 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	787 SF
INTERIOR LANDSCAPE	PERVIOUS	498 SF
INTERIOR LANDSCAPE	PERVIOUS	1536 SF
PERVIOUS		23809 SF
Grand total		78315 SF

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

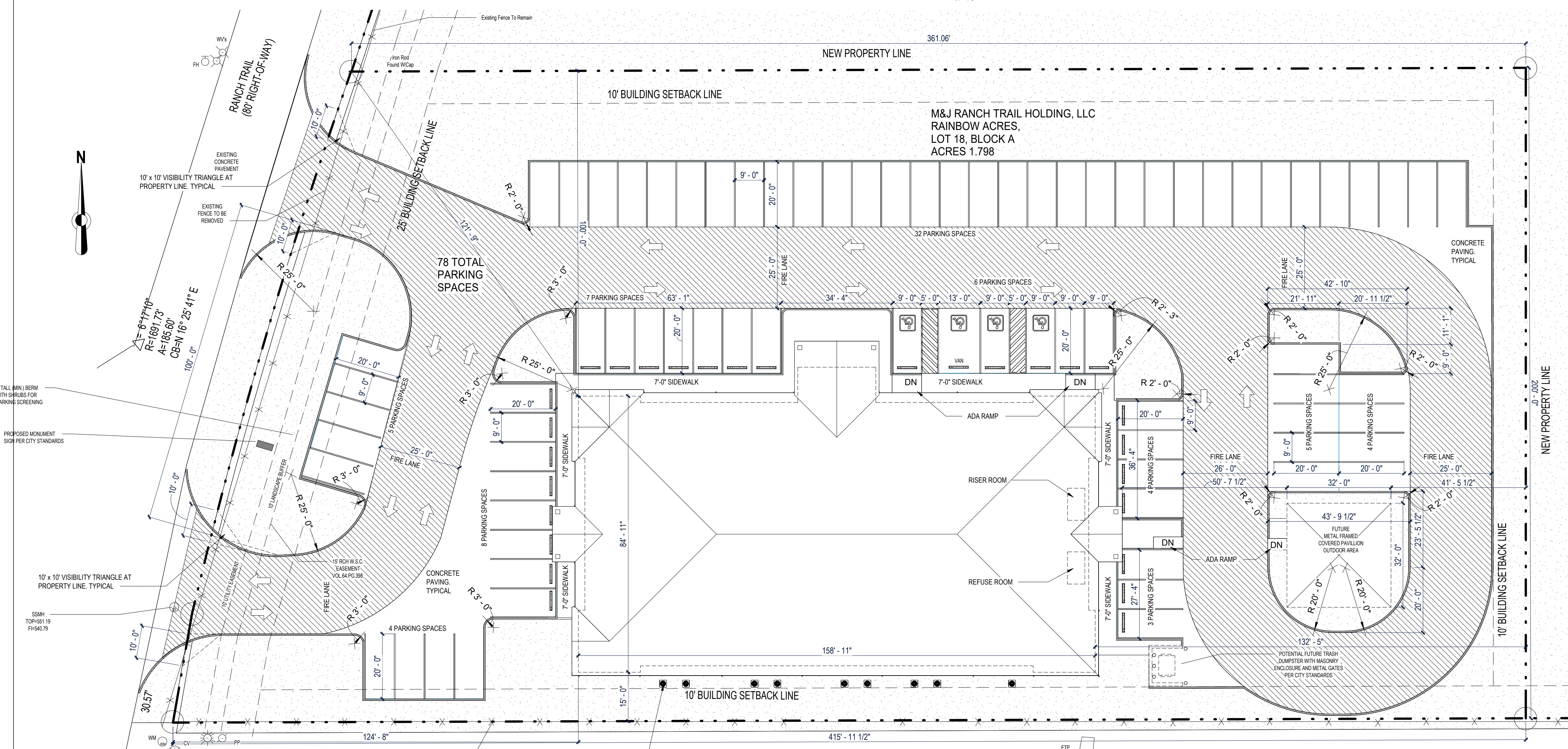
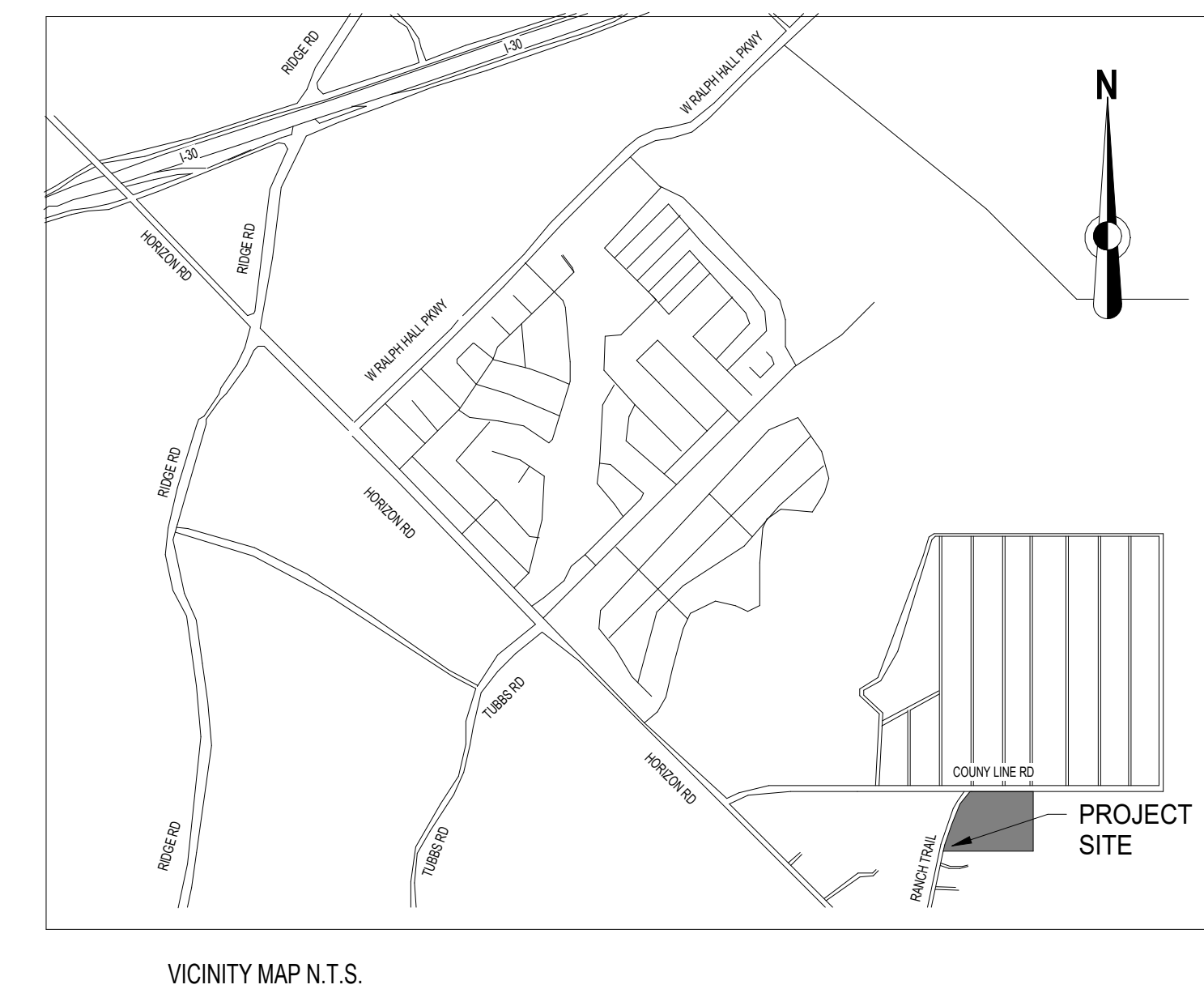
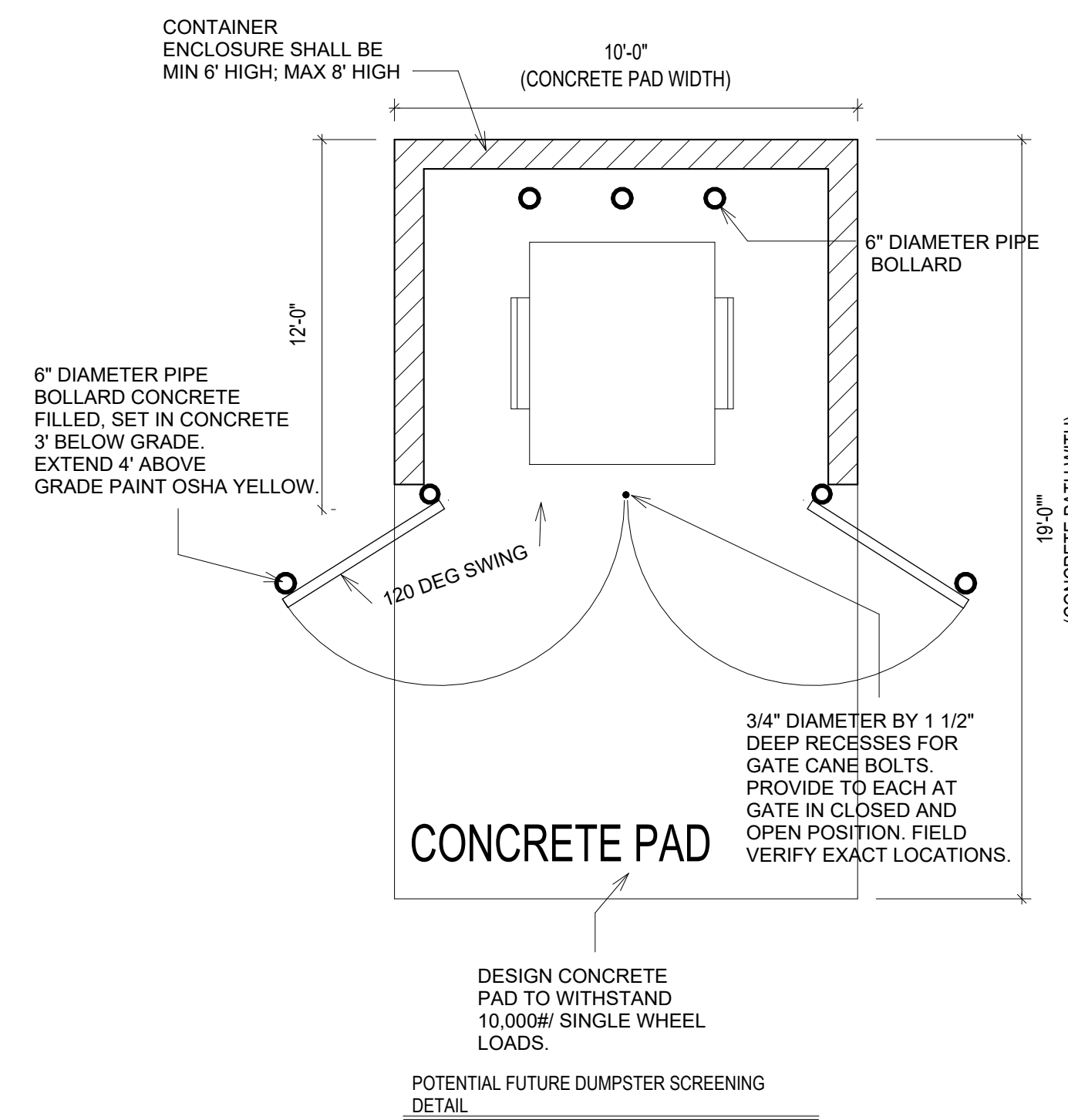
SITE PLAN - DETAIL

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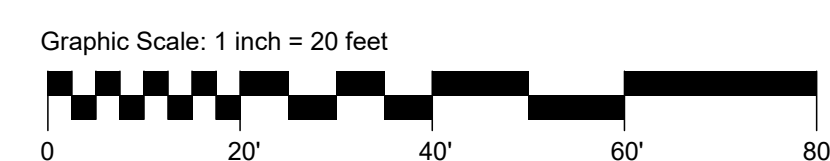
SP-1.1

CASE NUMBER _____

02-17-2023



1 SITE PLAN - DETAIL
 1" = 20'-0"



ARCHITECT:
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LANDSCAPE ARCHITECT:
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 ADDISON, TX 75001
 ERIC SHEPLEY
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 ERIC@EVERGREENDESIGNGROUP.COM

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MEP ENGINEER:
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 MIDLOTHIAN, TX 76065
 RUSSELL LAQUEY
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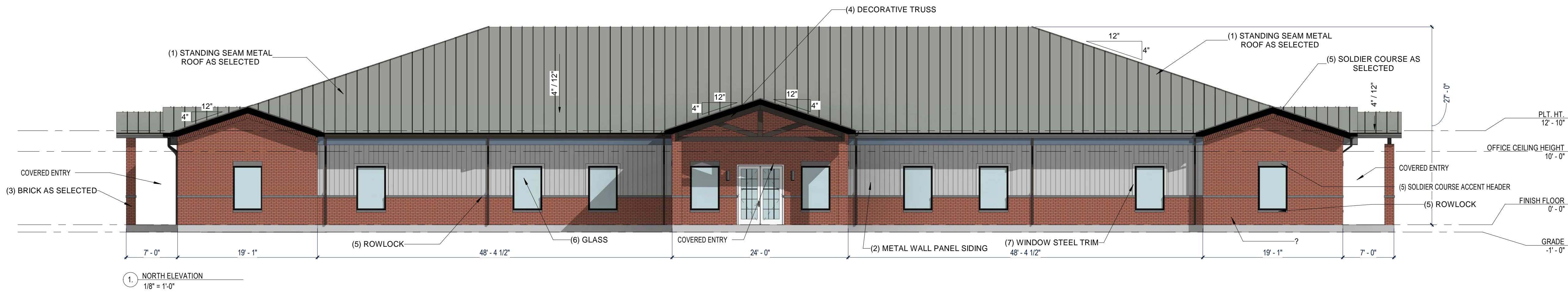
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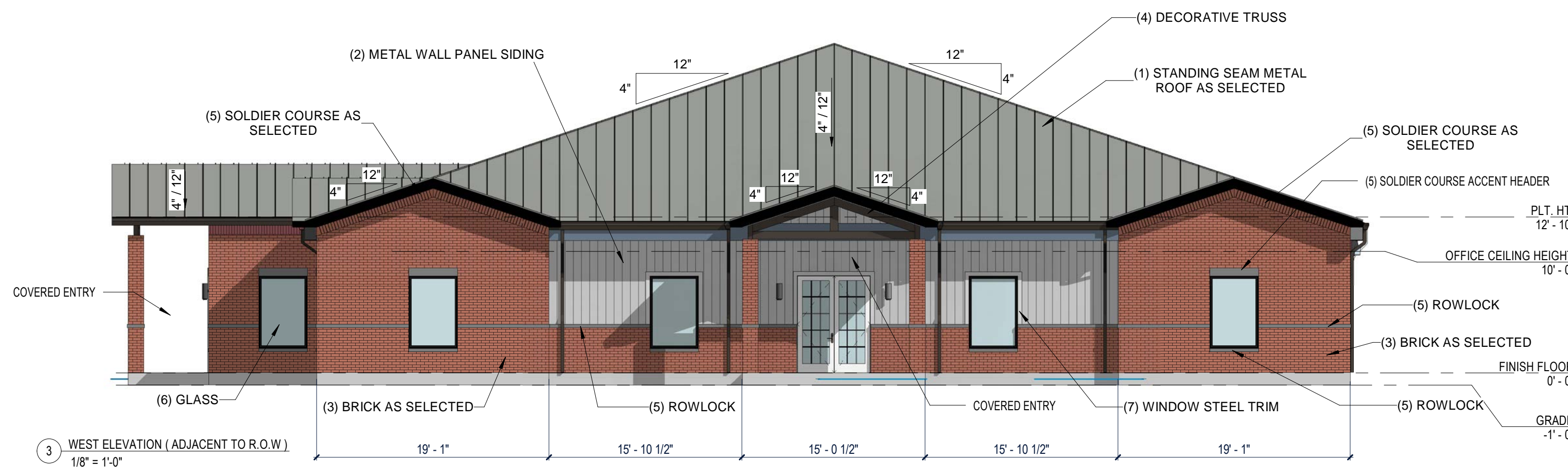
\\0.01.1232.g\Shares\Arch\Jobs\John_McKinney_IL & J_Ranch_Trail\2022\ARC22-0022\03-CD IN PROGRESS\ARC22-0022-McKinney_Rockwall_2023-02-03.rvt



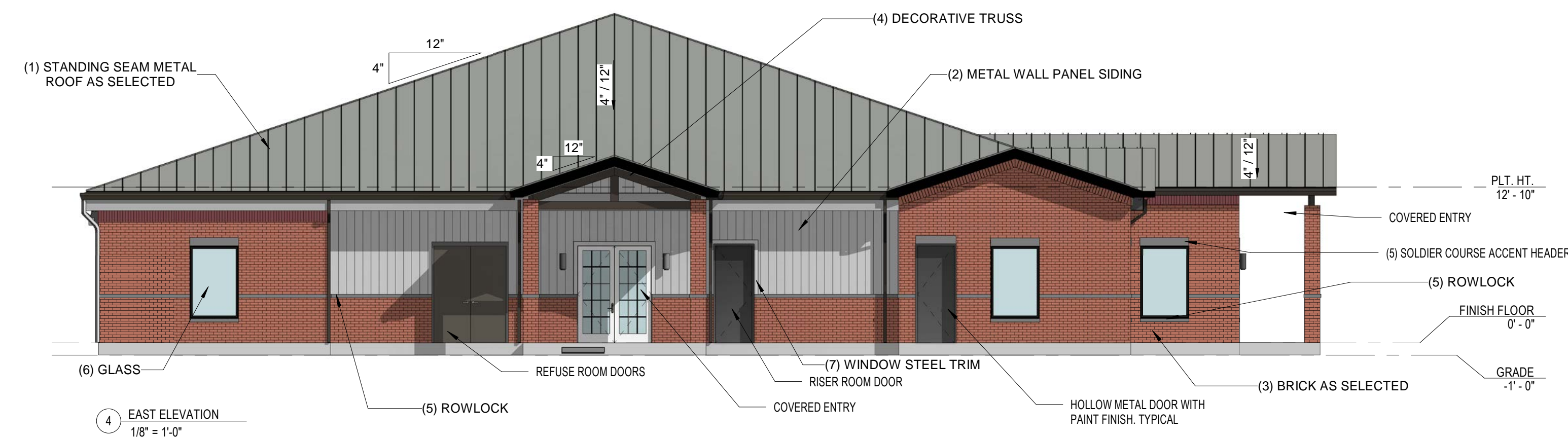
MATERIAL INFORMATION - NORTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	44%
(MC) Glass	1054 SF	33%
(MC) Metal Siding	707 SF	22%
	3155 SF	100%



MATERIAL INFORMATION - SOUTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	40%
(MC) Glass	647 SF	28%
(MC) Metal Siding	738 SF	32%
Grand total: 17	2303 SF	100%



MATERIAL INFORMATION - WEST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	51%
(MC) Glass	392 SF	27%
(MC) Metal Siding	322 SF	22%
	1457 SF	100%



MATERIAL INFORMATION - EAST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	55%
(MC) Glass	227 SF	19%
(MC) Metal Siding	310 SF	26%
	1207 SF	100%

FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	MCBI	-	-
2	METAL WALL PANEL	MCBI	-	-
3	BRICK	ACME	-	-
4	DECORATIVE TRUSS	-	-	-
5	ACCENT BRICK	ACME	-	-
6	GLASS	-	-	-
7	WINDOW TRIM	-	-	-

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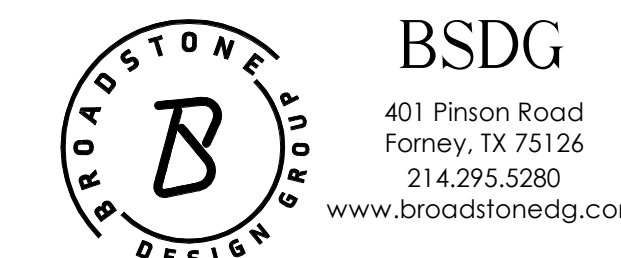
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01/20/2023



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PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

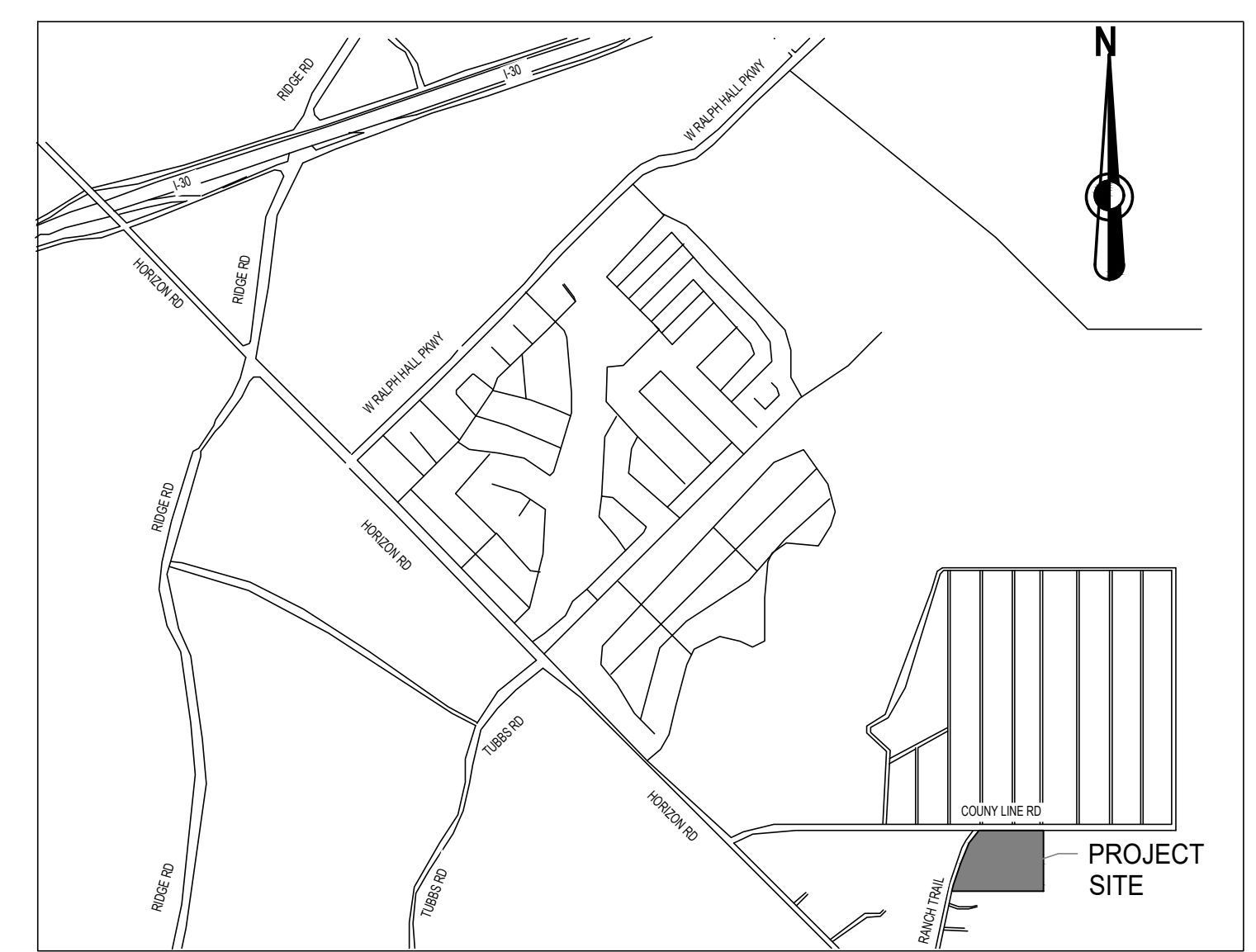
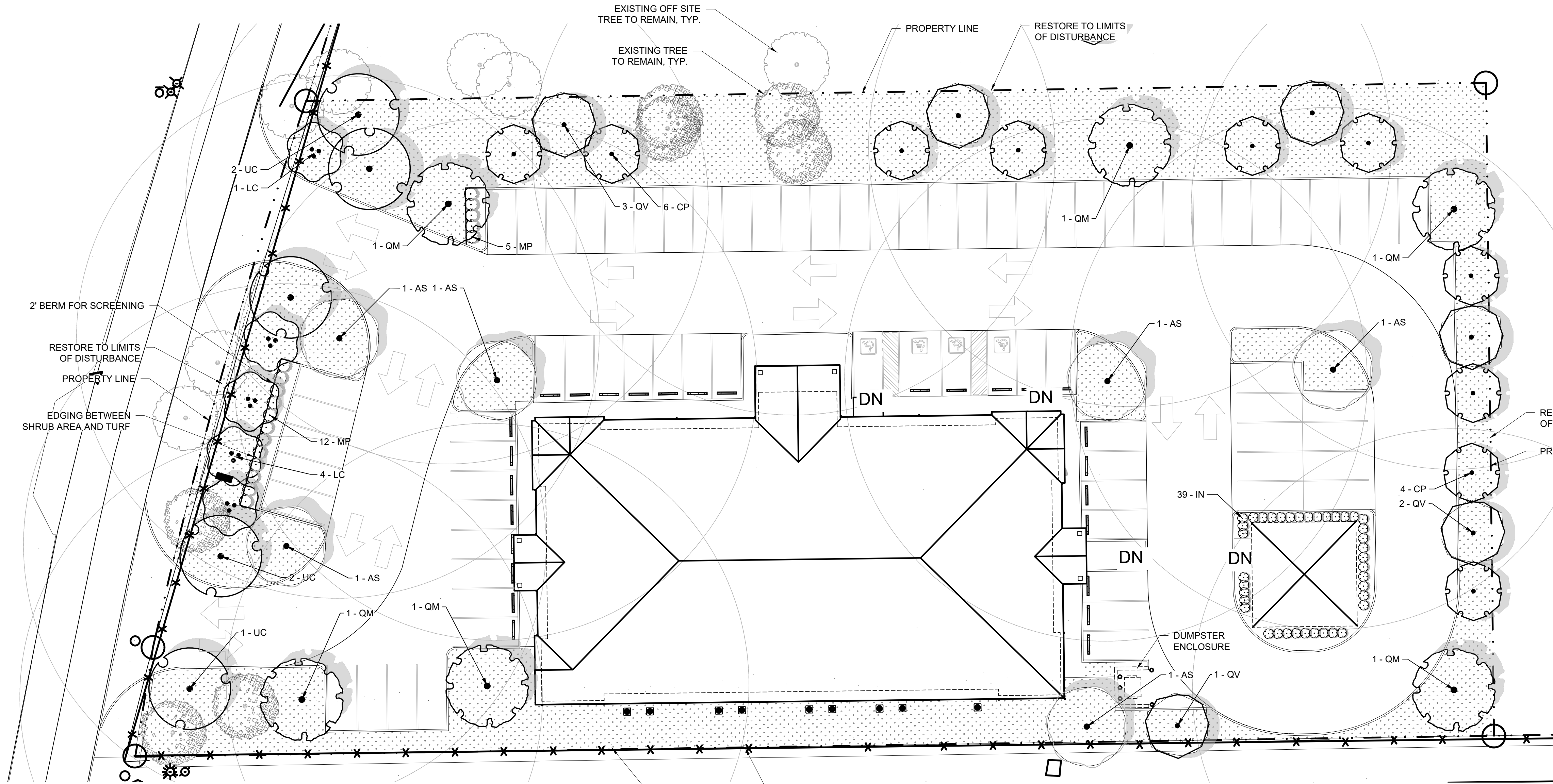
BUILDING ELEVATIONS

McKINNEY BUILDING
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 RAINBOW ACRES, LOTS 18 & 5 PART OF 19
 ROCKWALL COUNTY
 MCKINNEY BUILDING

SP-1.2

CASE NUMBER _____

01/20/2023



LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
RANCH TRAIL: ±207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS 2' BERM WITH EVERGREEN SHRUBS N/A
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±78,309 SF 15,661 SF (20%) ± 23,809 SF (30.4%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	12,710 SF (81.1%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±37,622 SF 37,622 x 5% = 1,881 ±4,598 SF (12.2%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK 78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES
PARKING SPACES: TREES REQUIRED: TREES PROVIDED:	78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1' AWAY FROM THE WALKS.
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1' AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANT SCHEDULE

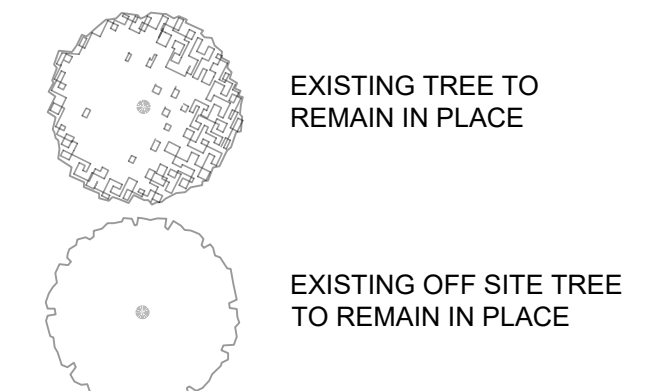
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	6	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	6	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QV	7	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	5	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	LC	5	Lagerstroemia indica 'Cherokee' Cherokee Crape Myrtle	CONT.	3-5 CANES, 2" CAL OVERALL	8' -10' HT

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
	MP	17	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD	22,382 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

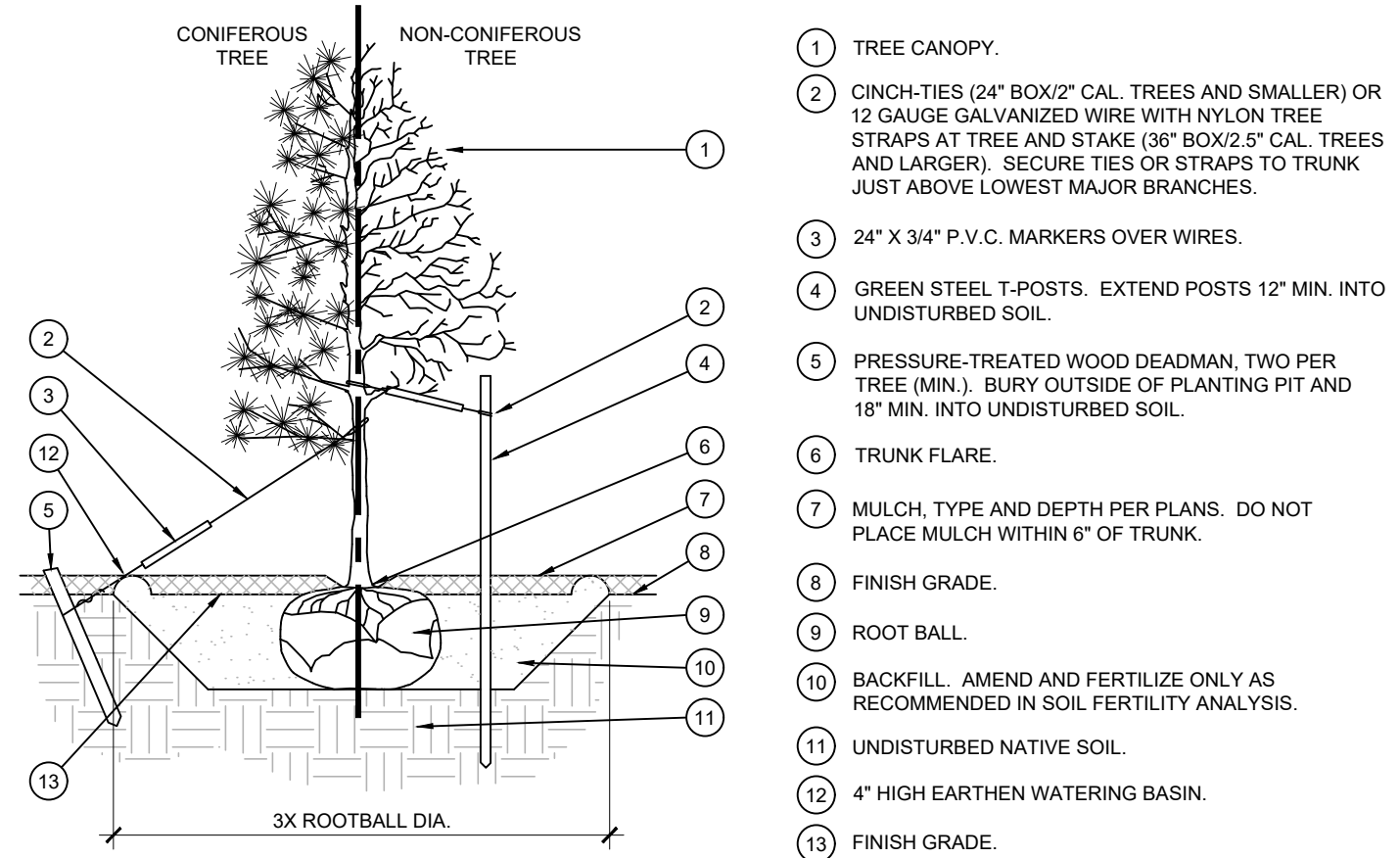
EXISTING TREE LEGEND




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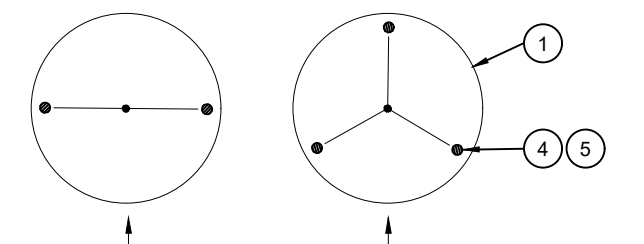
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LP-1



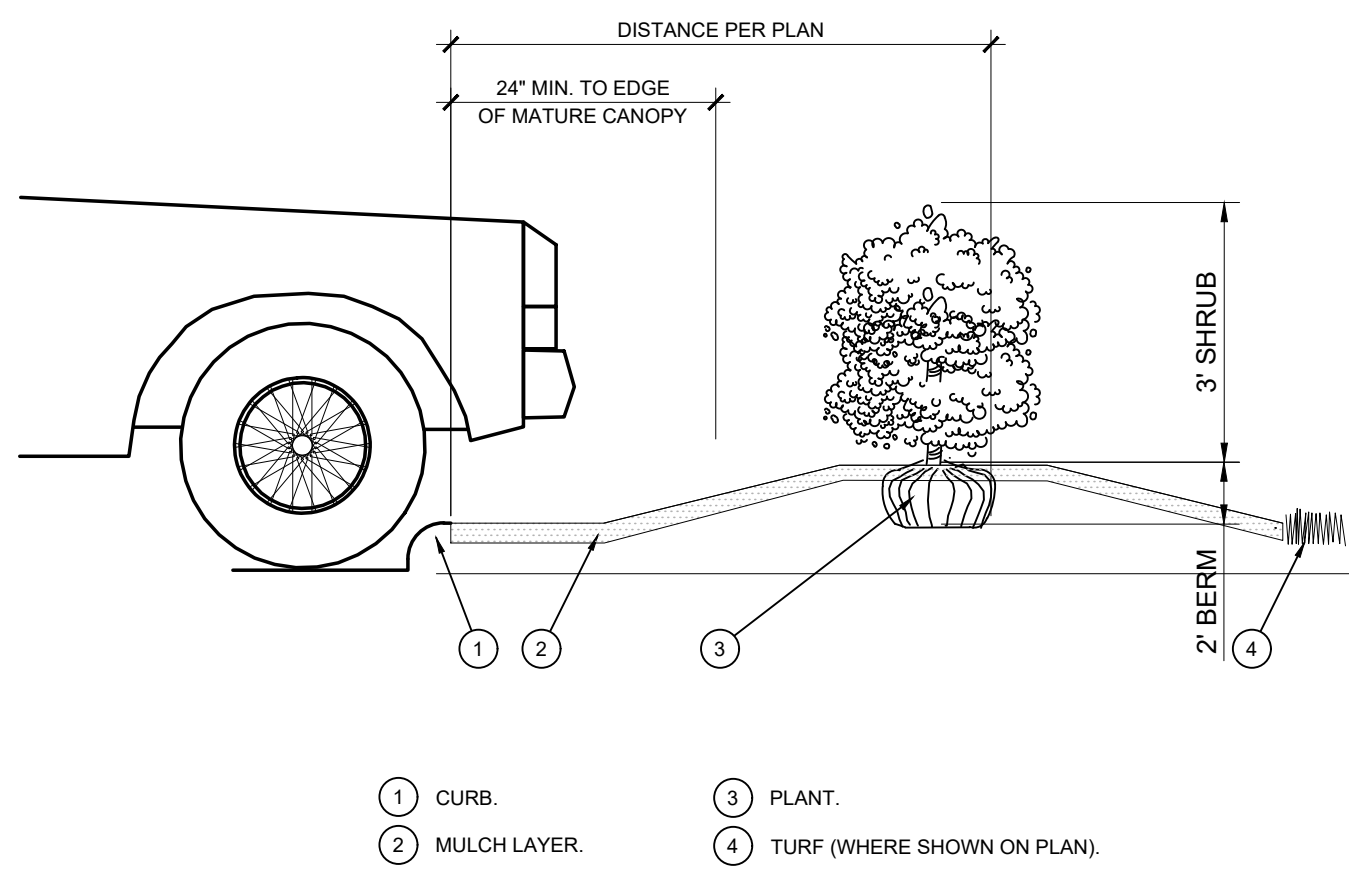
- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

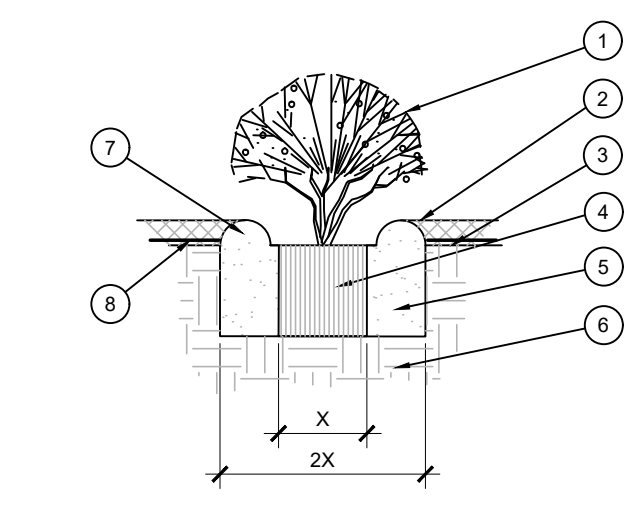


- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

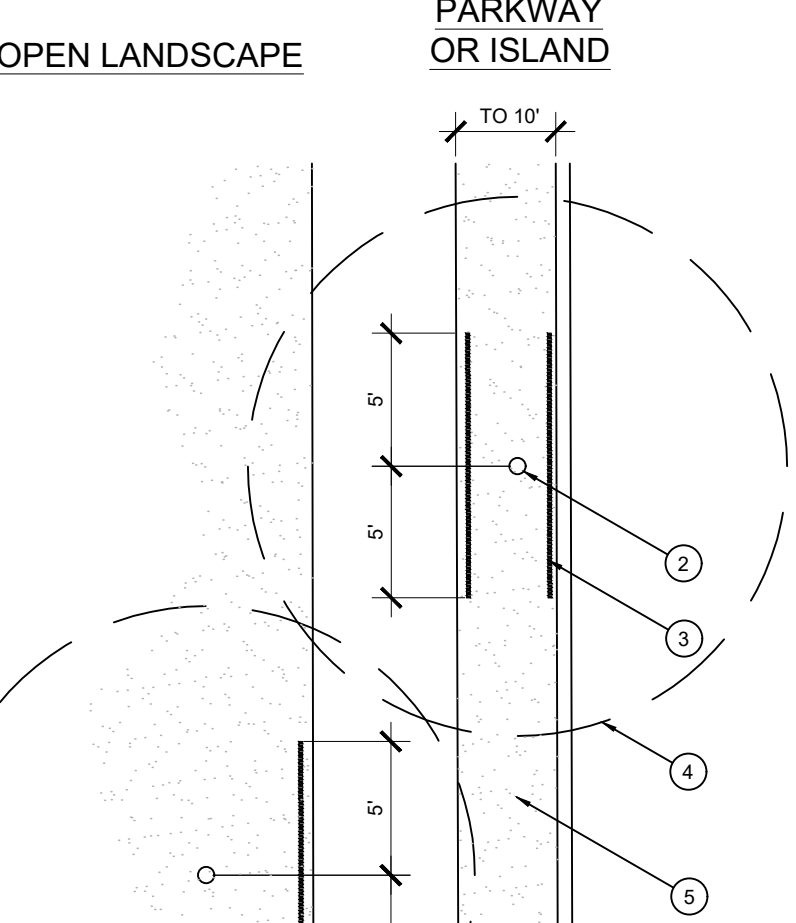
A TREE PLANTING
SCALE: NOT TO SCALE



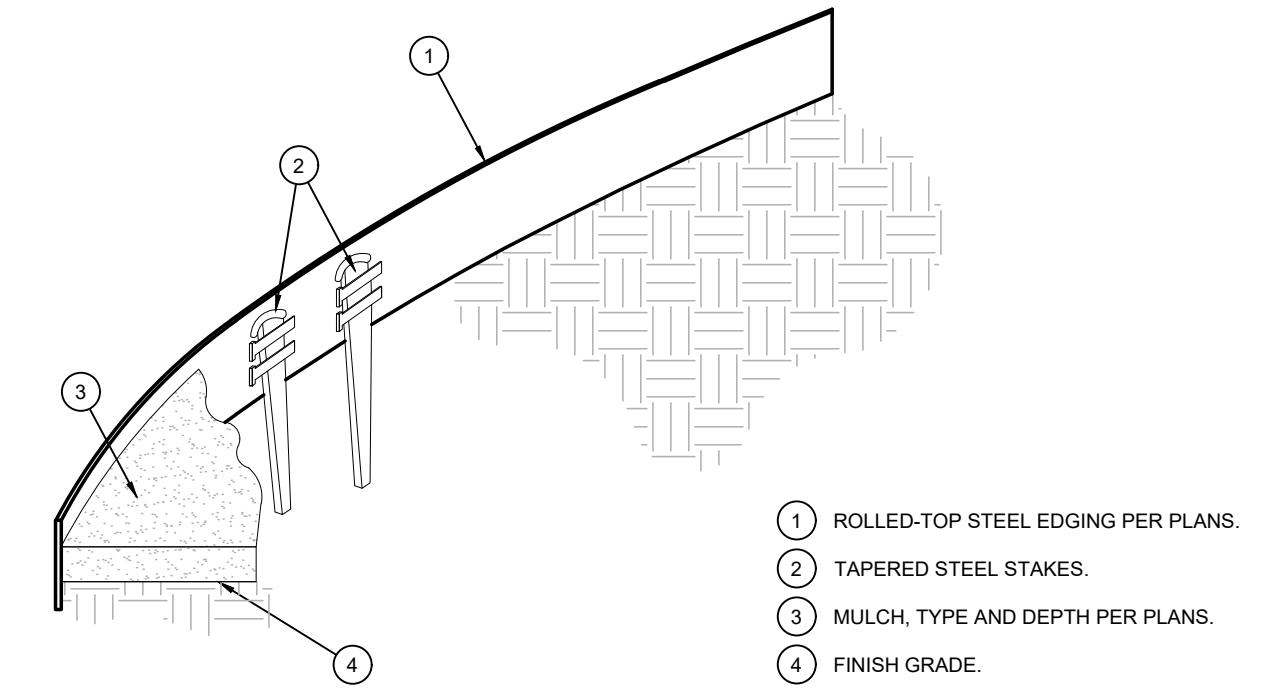
D PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



D STEEL EDGING
SCALE: NOT TO SCALE

- NOTES:
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
 - 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

PLANTING SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- PRODUCTS
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BAB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTED.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF (1/2) OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD. PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEEB-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
 2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROB PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3' BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND THE ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING OR EXISTING TRENCHING:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE TRUNKS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 3. FOR CONTAINER AND BAB TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE FIELD TO THE EXISTING TOPSOIL.
 6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) SHALL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1"-2" TREES: TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES: THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER: GUY AS NEEDED
 - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - e. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- SHRUB, PERENNIAL, AND GROUND COVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" DEEP DEEPER THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS AND BUTT ENDS OF ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CURBS, WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPAIR OR CORRECT THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE SPOTS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDING A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023

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**LANDSCAPE PLANTING
DETAILS & NOTES**

McKINNEY BUILDING
405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

Eric L. Davis Engineering, Inc.

401 Pinson Road
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LP-2

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PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL OF THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER POT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; NOT EXCEEDING 0.5 PERCENT HEAVY METAL CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROOVETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIMC, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING AS APPROPRIATE: SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOILS SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES: TWO STAKES PER TREE
 - 2"-12" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO FORM JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 1" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

J. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE AT THAT TIME OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023



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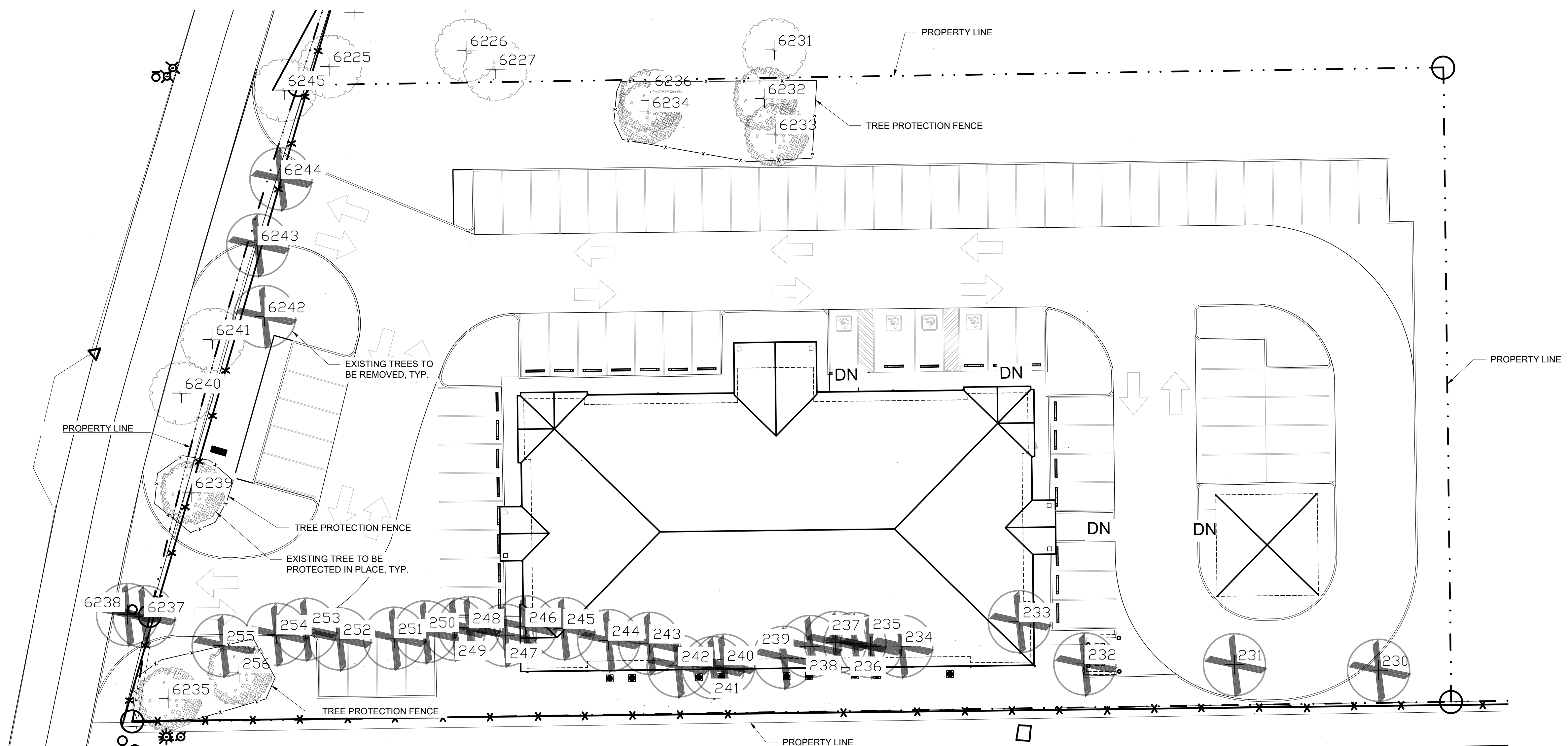


LANDSCAPE PLANTING SPECIFICATIONS

McKINNEY BUILDING

405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

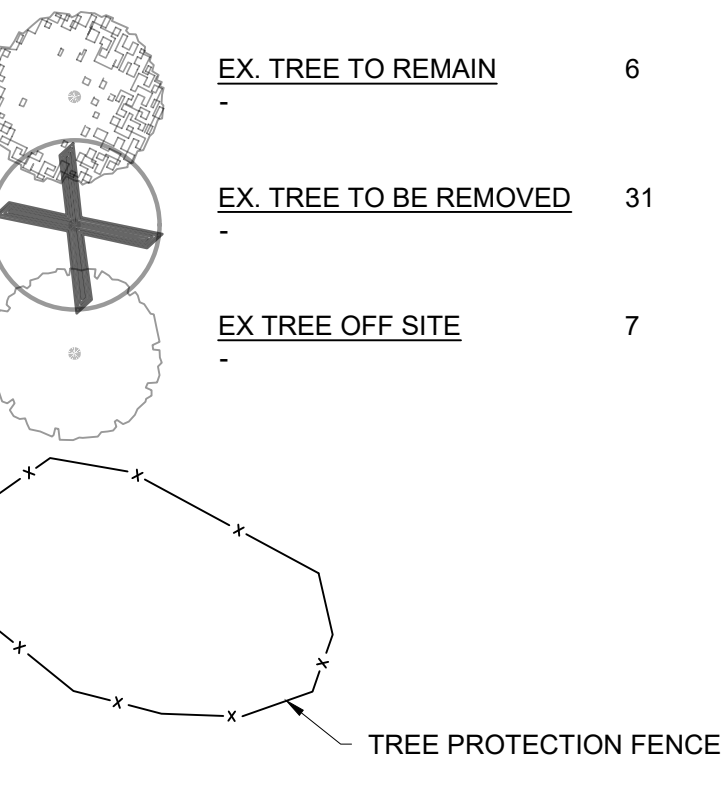
LP-3



EXISTING TREE INVENTORY

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	4
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED				OFF-SITE	4
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	4
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	4
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	4
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	4
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	4
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	4
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	OFF-SITE	4
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED			Y	OFF-SITE	4
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED			Y	REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	4

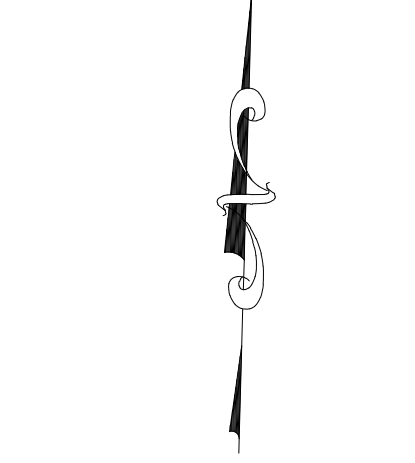
EXISTING TREE LEGEND



TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	120"
PROPOSED CODE REQUIRED TREES:	58"
BALANCE OF MITIGATION:	42"
4" CAL. MITIGATION TREES (11) ONSITE:	64"

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



Scale 1" = 20'

(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com



BSDG
401 Pinson Road
Forney, TX 75126
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Eric L. Davis Engineering, Inc.
401 Pinson Road
Forney, TX 75126
972.564.0592
www.eldengineering.com

TREESCAPE PLAN

McKINNEY BUILDING
405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

TD-1

11-22-2022

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

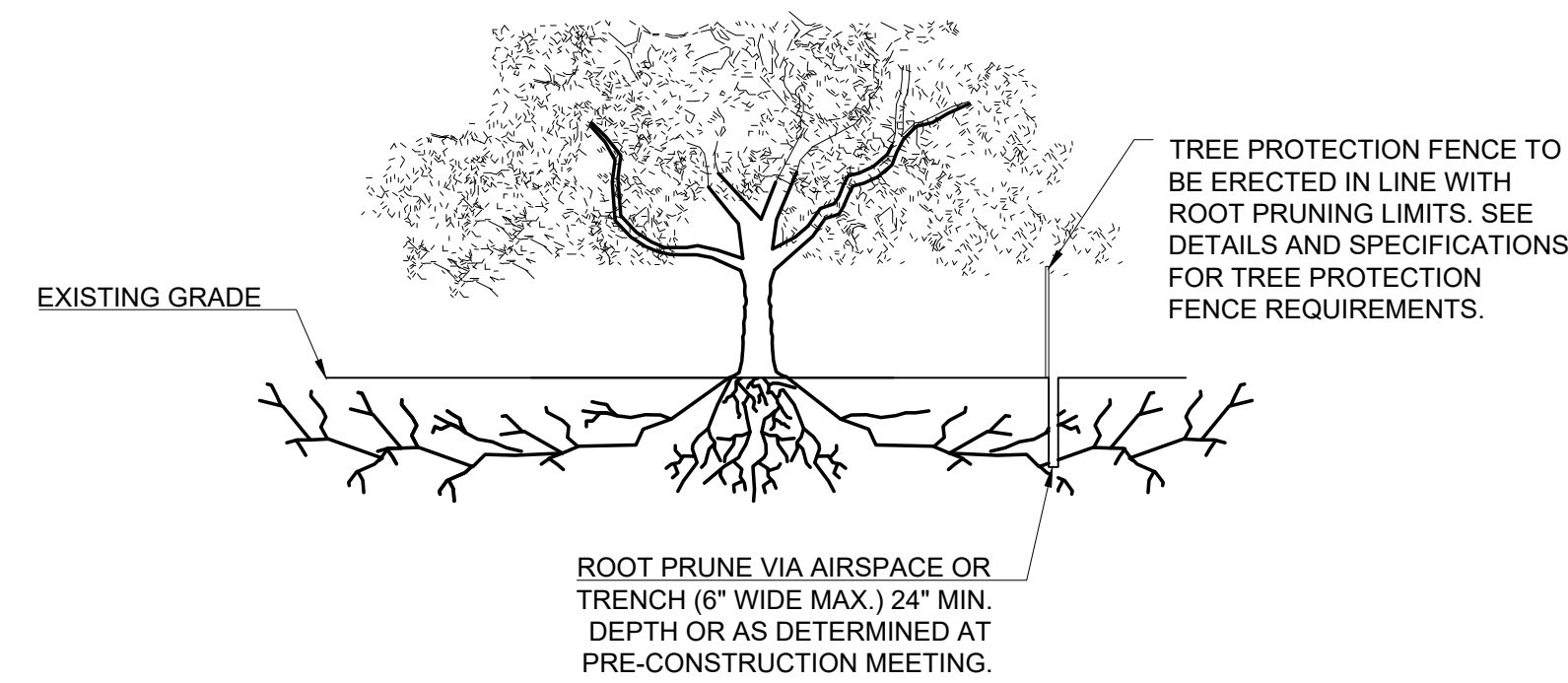
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

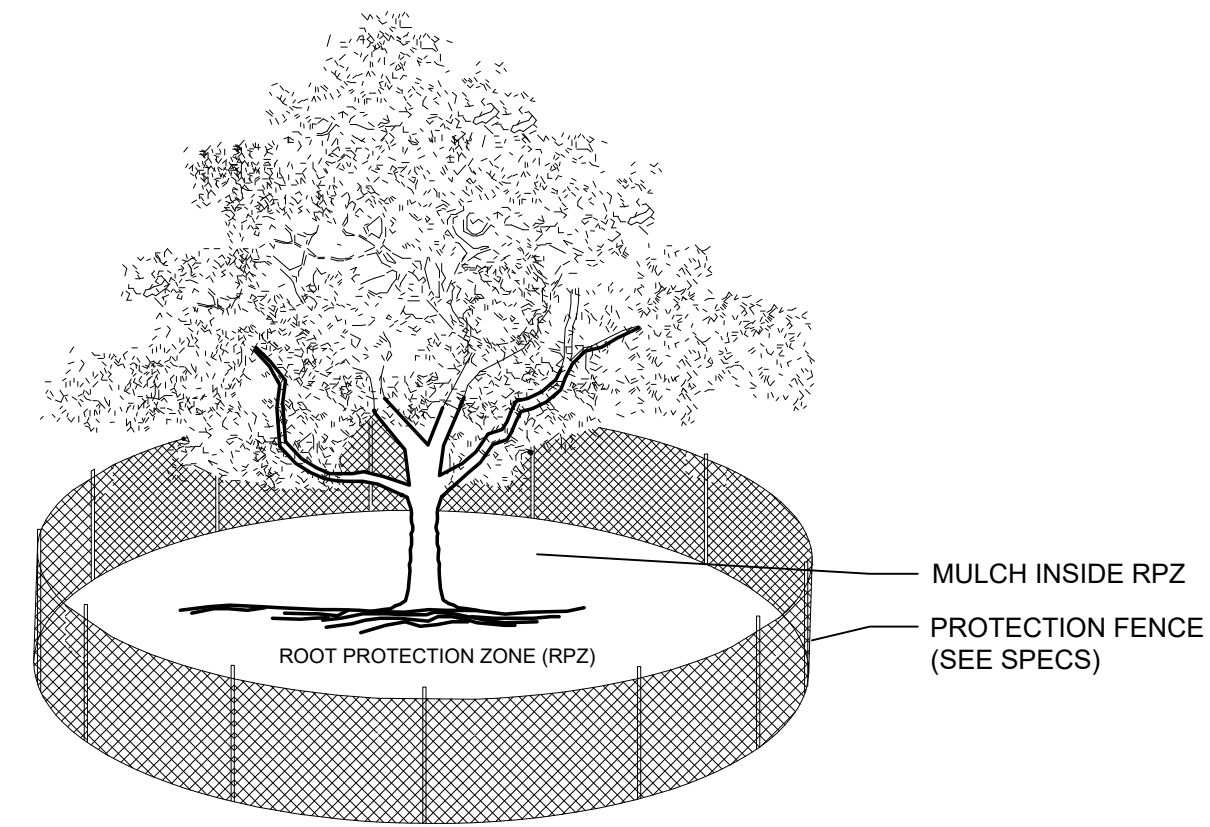
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN IN PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



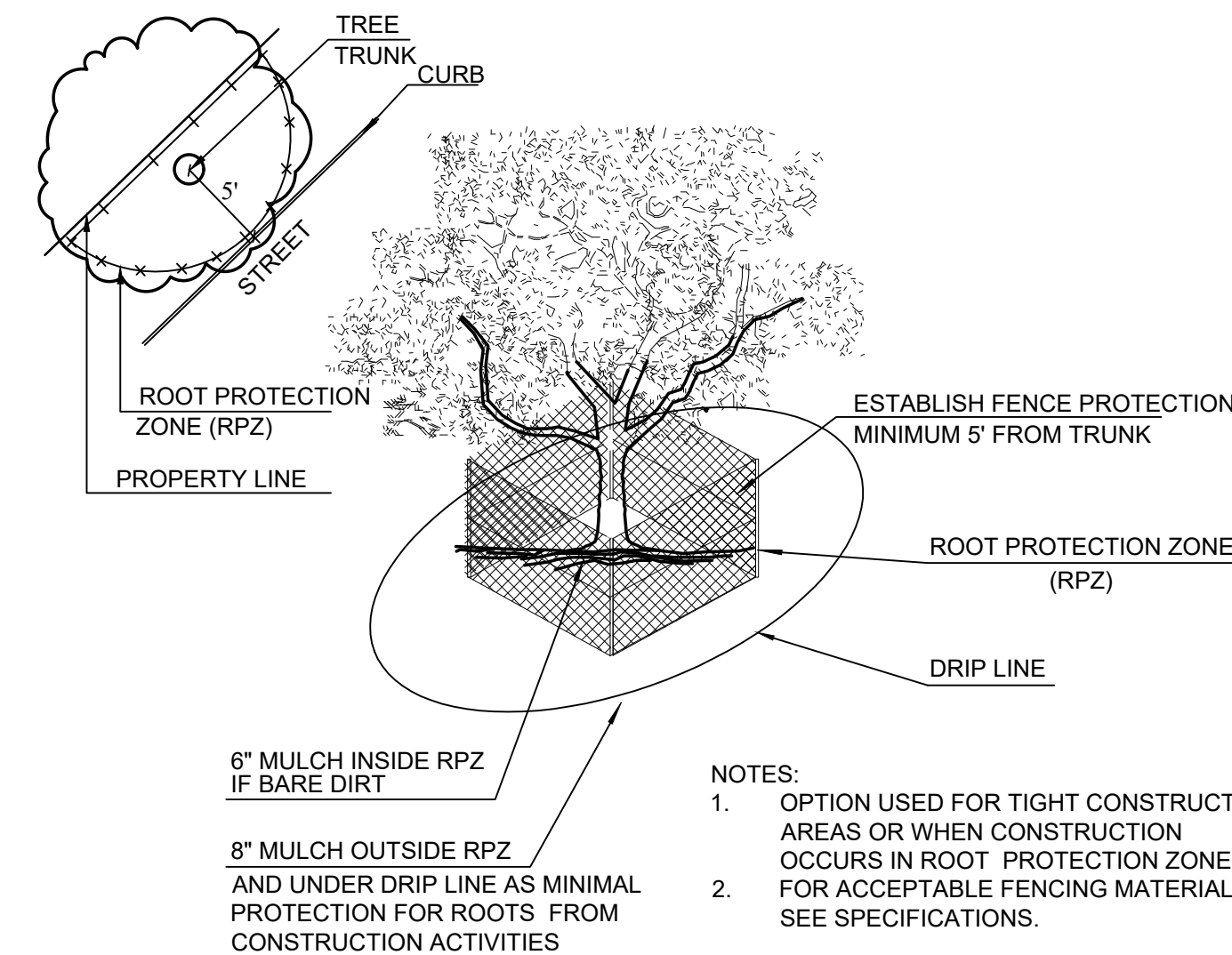
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



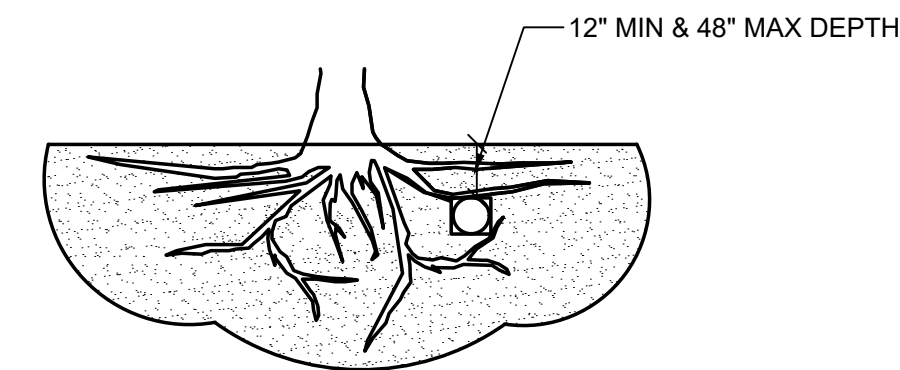
NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

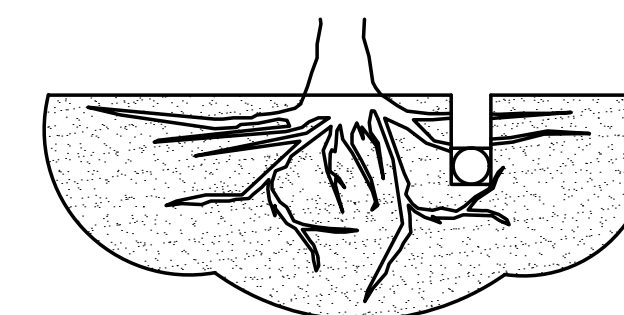
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

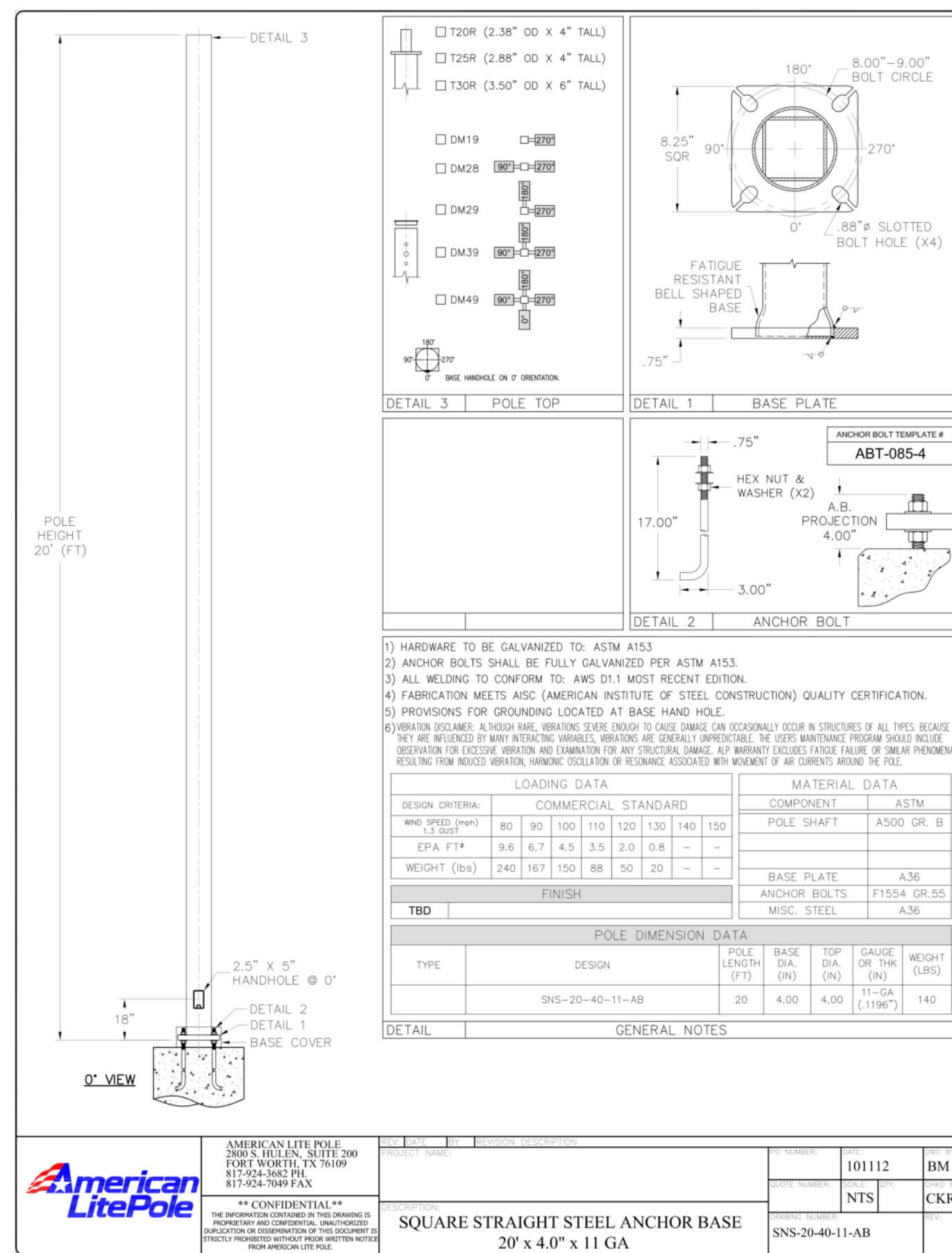


02-07-2023



TREESCAPE DETAILS & SPECIFICATIONS
McKINNEY BUILDING
405 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

TD-2

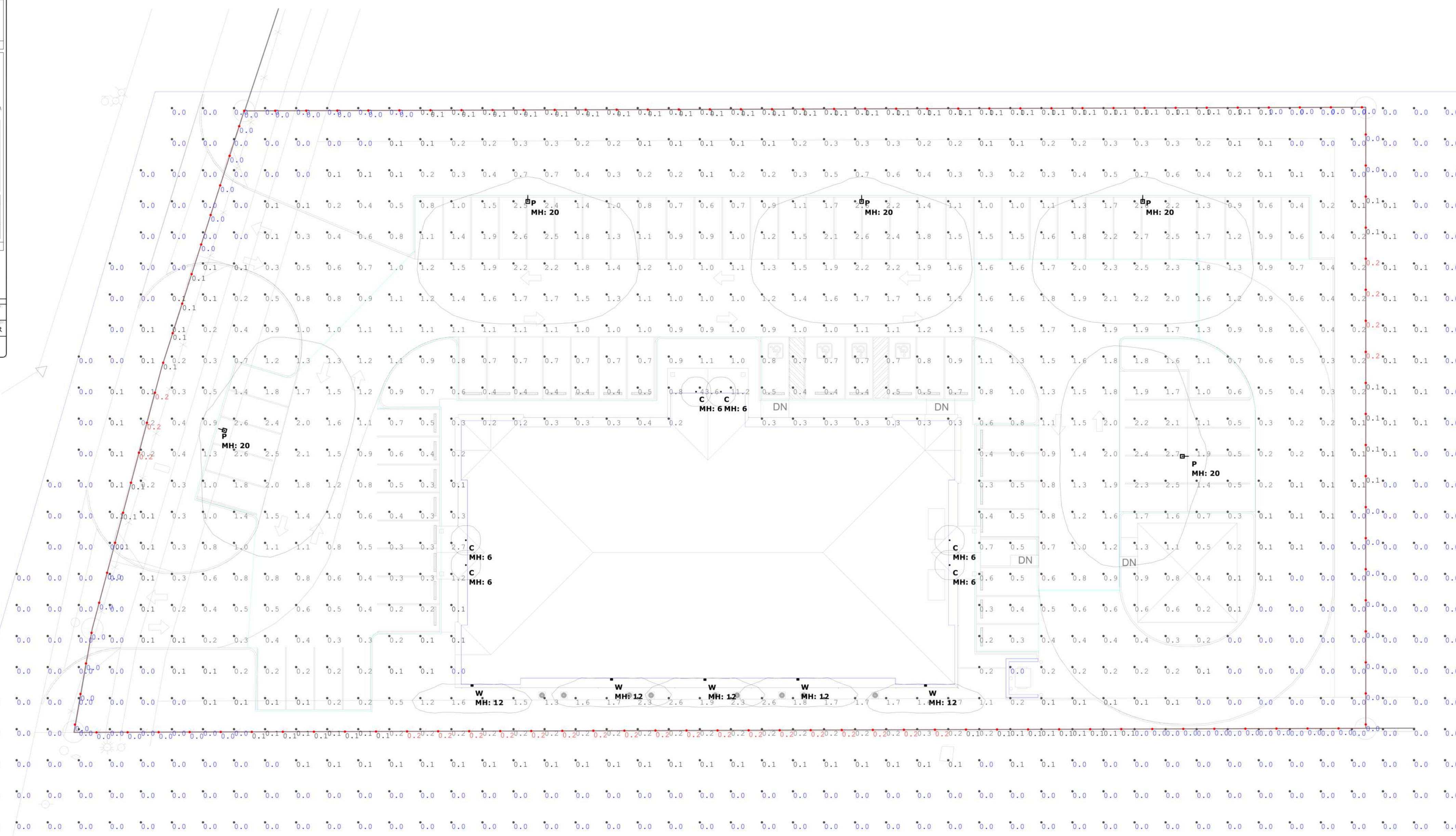


1) HARDWARE TO BE GALVANIZED TO ASTM A153
 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153
 3) ALL WELDING TO CONFORM TO AWS D11 MOST RECENT EDITION
 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE
 6) DESIGNER PROVIDES ALL NECESSARY INFORMATION TO THE CONTRACTOR TO VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS.

LOADING DATA		MATERIAL DATA	
DESIGN (WIND)	COMMERICAL STANDARD	COMPONENT	ASTM
WIND SPEED (MPH)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FT*	9.6 6.7 4.5 3.5 2.0 0.8 -- --		
WEIGHT (lbs)	240 167 150 88 50 20 -- --	BASE PLATE	A36
		ANCHOR BOLTS	F1554 GR.55
		MISC. STEEL	A36

POLE DIMENSION DATA			
TYPE	DESIGN	POLE LENGTH (FT)	SAUCE HEIGHT (LBS)
	SNS-20-40-11-AB	20 4.00 4.00	11-GA (11995) 140

GENERAL NOTES



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-L115-R30 VOLT FINISH	1600	15.3	1.000	0.850	1.000
□	P	5	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DDBXD DM19AS 20' POLE	11025	102.1727	1.000	0.850	1.000
□	W	5	LITHONIA WDG2Z LED P1 40K 80CRI T15 MVOLT MOUNT	1215	11.1658	1.000	0.850	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.08	0.2	0.0	N.A.
SITE 1 - Planar		Fc	0.58	43.6	0.0	N.A.
PARKING LOT		Fc	1.14	2.7	0.1	11.40

- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH".
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

2023-02-15



Plan/Spec Agreement
 By signing these plans, Contractor/Owner agrees to the following:
 These plans are the property of Lowery Design Group Inc. and are not to be reproduced, stored, or used for construction without the written permission of Lowery Design Group Inc. These plans are intended to provide the necessary information to build this structure. Contractor/Owner shall verify and approve all aspects prior to construction. Copyright © 2021 Lowery Design Group

DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL

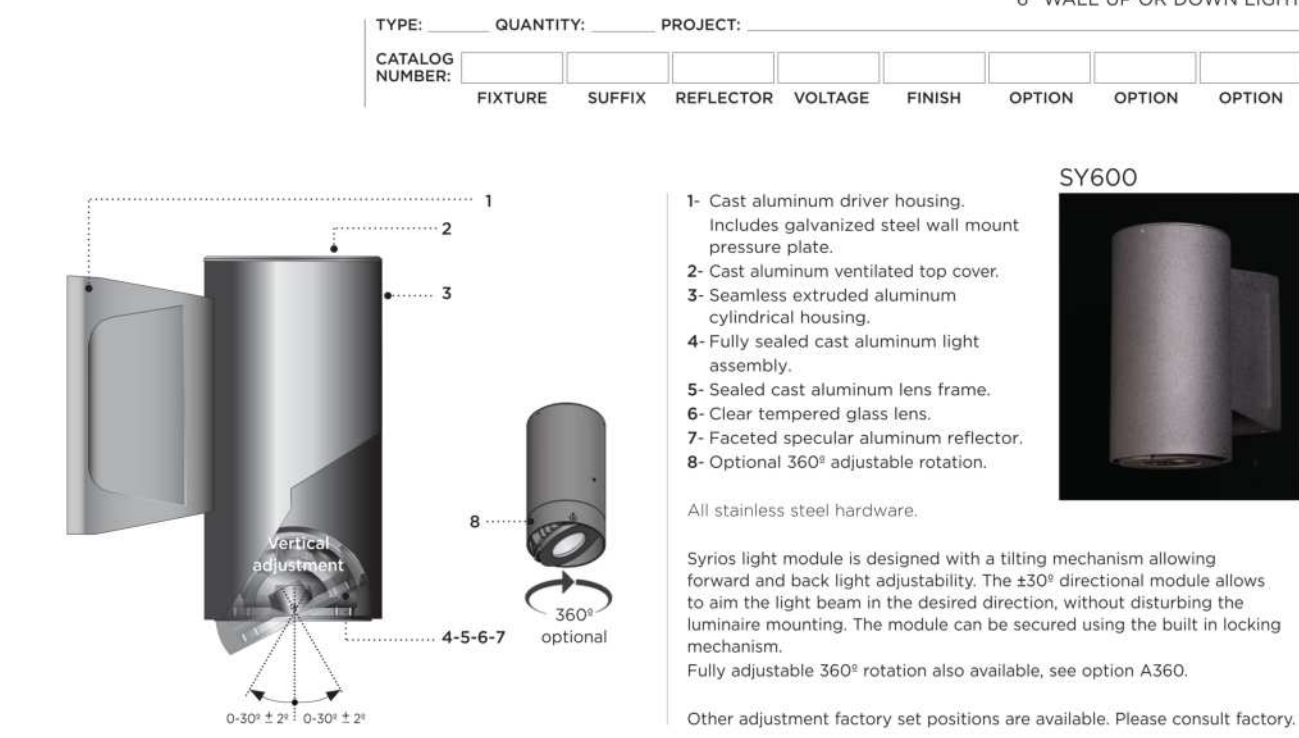
RANCH TRAIL PARTNERS
 405 RANCH TRAIL
 ROCKWALL, TEXAS 75032

SITE PHOTOMETRICS

E-0.1



LUMINIS SY600 SERIES SYRIOS 6" WALL UP OR DOWN LIGHT

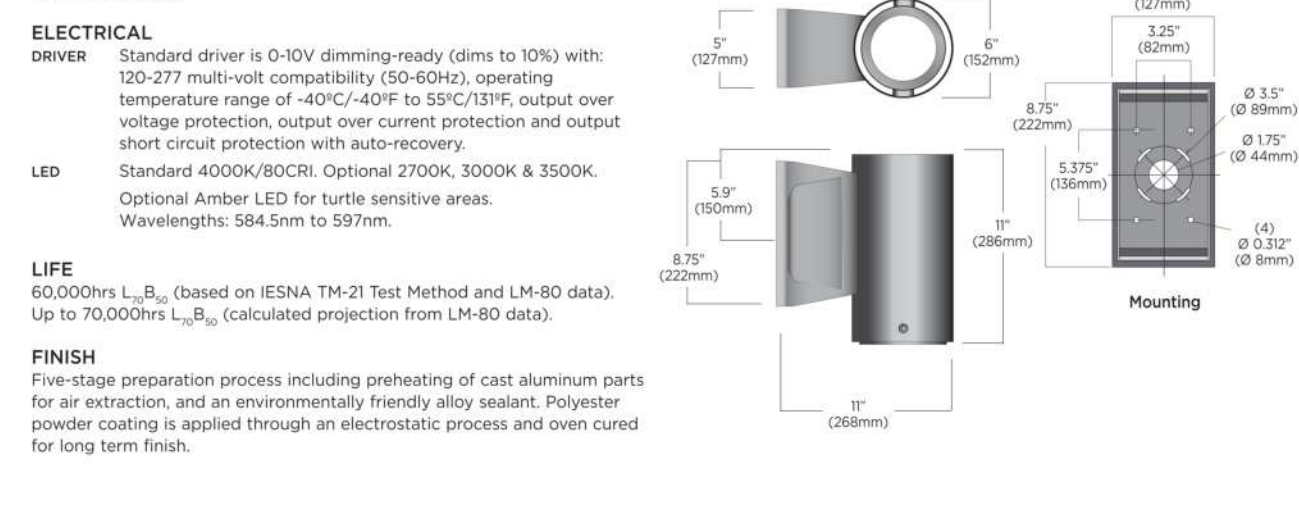


All stainless steel hardware.
 Syrios light module is designed with a tilting mechanism allowing forward and back light adjustability. The 330° directional module allows to aim the light beam in the desired direction, without disturbing the luminaire mounting. The module can be secured using the built in locking mechanism.
 Fully adjustable 360° rotation also available, see option A360.
 Other adjustment factory set positions are available. Please consult factory.

MATERIALS
 Syrios is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%.
 The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module designed for optimal heat dissipation, and lighting performance.
 Syrios is standard with a unique proprietary design allowing the sealed LED module to fit within the cylindrical housing.
 The top cast aluminum cover includes ventilation slots allowing air circulation and cooling of assembly.
 Syrios SY600 series is standard with 30° option. See options section for alternate selection.

MOUNTING
 Maximum weight: 8 lbs (4 kg)
 The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes.
 Additional sealed LED light module designs are provided as per site requirements, and lighting performance.

CERTIFICATION
 Certified and approved as per CSA C22.2 No. 250.0 standard and ANSI/UL 1598 standard, for wall location. Rated IP66.



ELECTRICAL DRIVER
 Standard driver is 0-10V dimming-ready (dim to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -40°C/-40°F to 50°C/133°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED
 Standard 4000K/80CRI. Optional 2700K, 3000K & 3500K. Optional Amber LED for highly sensitive areas.
 Wavelengths: 584.5nm to 597nm.

LIFE
 60,000hrs L₈₀ (based on IESNA TM-21 Test Method and LM-80 data). Up to 70,000hrs L₈₀ (calculated projection from LM-80 data).

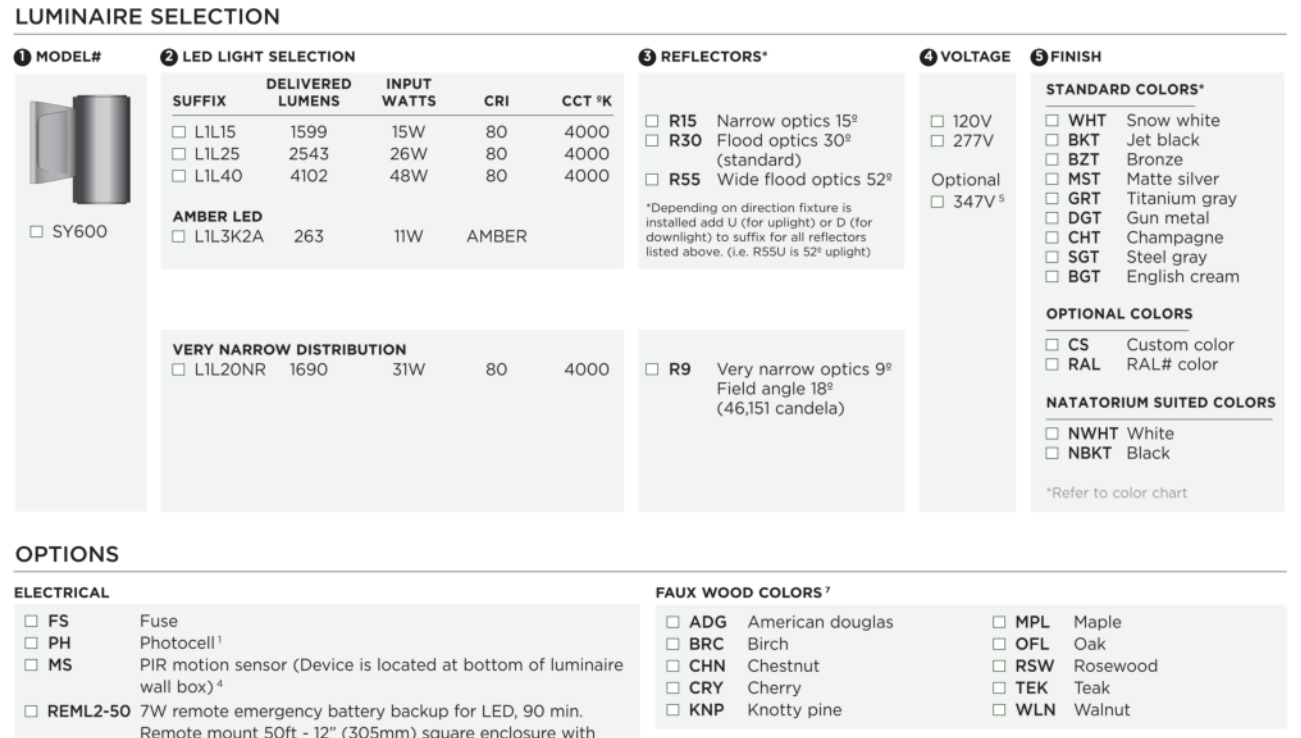
FINISH
 Five-stage preparation process including preheating of cast aluminum parts for air extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
 260 Labrosse, Pointe-Clare (QC) Canada H9R 5L5

LUMINIS.COM

Luminaires may be altered for design improvement or discontinued without prior notice.

LUMINIS SY600 SERIES SYRIOS



LUMINAIRE SELECTION

LED LIGHT SELECTION

REFLECTORS*

VOLTAGE

FINISH

STANDARD COLORS*

OPTIONAL COLORS

NATURALUM SUITED COLORS

FAUX WOOD COLORS*

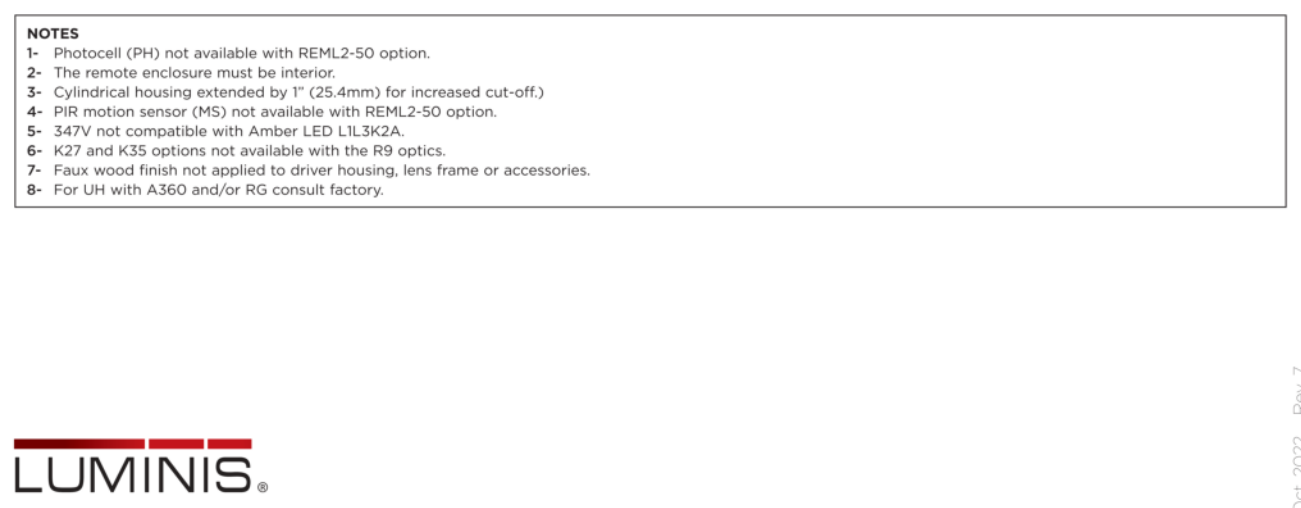
ELECTRICAL

FAUX WOOD COLORS*

ACCESSORIES

LIGHT & OPTICS

NOTE: For DALI certification compliance, luminaire must be ordered with 3000K or warmer.

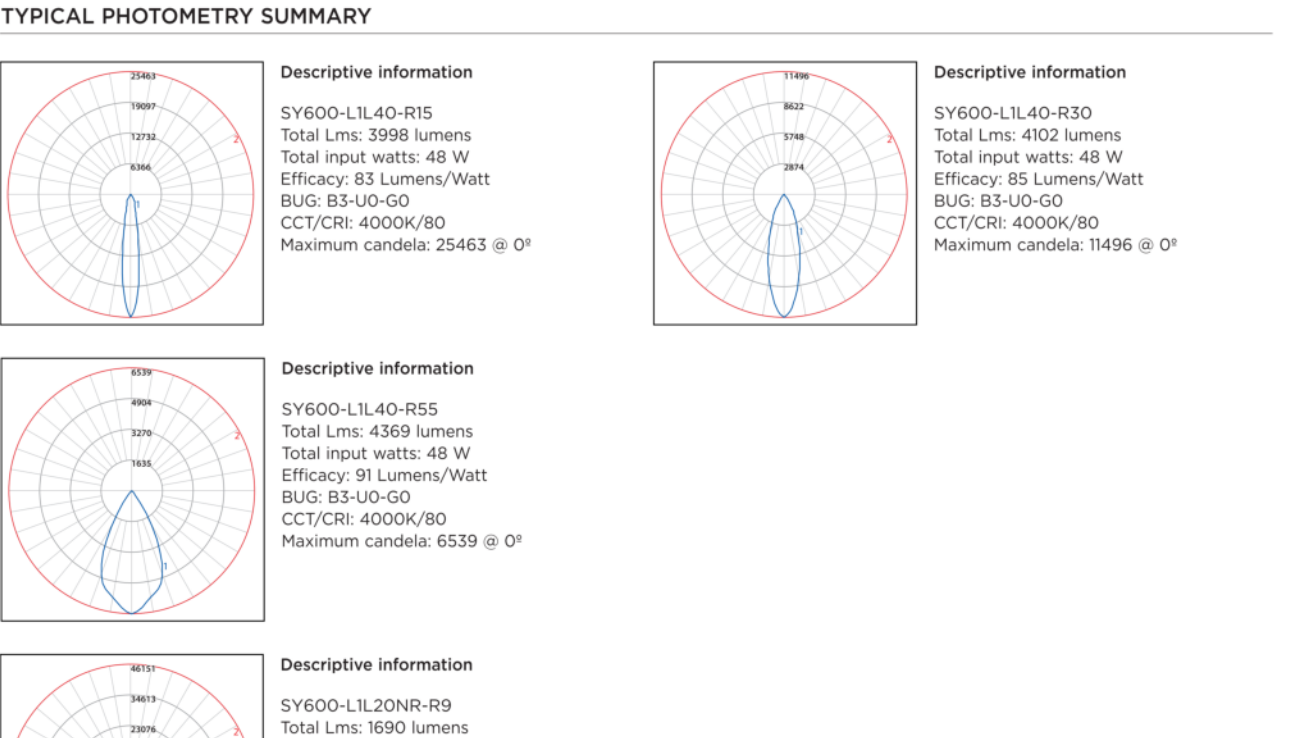


LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
 260 Labrosse, Pointe-Clare (QC) Canada H9R 5L5

LUMINIS.COM

Luminaires may be altered for design improvement or discontinued without prior notice.

LUMINIS SY600 SERIES SYRIOS



Descriptive Information

SY600-LL40-R15
 Total Lm: 3998 lumens
 Total input watts: 48 W
 Efficiency: 83 Lumens/Watt
 BUG: 85-UG-GO
 CCT/CR: 4000K/80
 Maximum candela: 2463 @ 0°

SY600-LL40-R30
 Total Lm: 4102 lumens
 Total input watts: 48 W
 Efficiency: 85 Lumens/Watt
 BUG: 85-UG-GO
 CCT/CR: 4000K/80
 Maximum candela: 1846 @ 0°

SY600-LL40-R55
 Total Lm: 4369 lumens
 Total input watts: 48 W
 Efficiency: 91 Lumens/Watt
 BUG: 85-UG-GO
 CCT/CR: 4000K/80
 Maximum candela: 653 @ 0°

SY600-LL20R-R9
 Total Lm: 1690 lumens
 Total input watts: 31 W
 Efficiency: 55 Lumens/Watt
 BUG: 85-UG-GO
 CCT/CR: 4000K/80
 Maximum candela: 4651 @ 0°

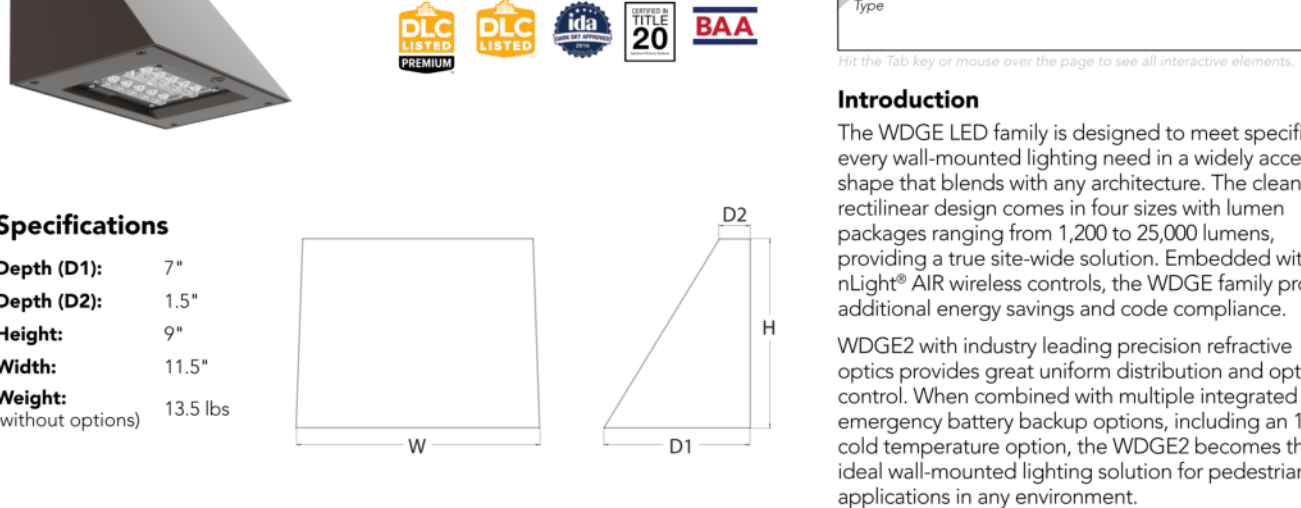
Please visit our web site www.luminis.com for complete I.E.S. formatted download data.

LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com
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WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs (without options)

WDGE2 LED Family Overview

Luminaire	Optics	Standard ILM, P/C	Cold ILM, 20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE2 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / Height	—	1,200	2,000	3,000	4,500	6,000	—
WDGE2 LED	Precision Refractive	10W	18W	Standalone / Height	700	1,200	2,000	3,200	4,500	12,000	—
WDGE2 LED	Precision Refractive	15W	18W	Standalone / Height	—	7,500	8,500	10,800	12,000	—	—
WDGE2 LED	Precision Refractive	—	—	Standalone / Height	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped In/cluded	Shipped Separately
WDGE2 LED	P0*	27K	200K	10CR*	T15	Type I Short	MVOLT SRM	3/8" Black structural wall spacer
	P1*	30K	300K	80CR*	T2M	Type II Medium	SRM	Surface mounting bracket
	P2*	40K	400K	10W Limited Wavelength	T3M	Type III Medium	KW	Indirect Canopy/Ceiling Mount (not for use in damp locations only)
	P4*	50K	500K	—	T4M	Type IV Medium	PBBW	Surface-mounted back box (top left, right corner only, see when there is no junction box available)

Options

EWNH Emergency battery backup, Certified in CA Title 20 MAR05 (100% 5V, 6m)

EWOW Emergency battery backup, Certified in CA Title 20 MAR05 (CRW, 20°C, 6m)

PE* Photocell, Button Type

DMC* 0-10V dimming wires pulled outside fixture (for use with external control, ordered separately)

KCE Bottom condant entry for back box (PBBW). Total of 4 entry points.

BA Bay Area/CAI Act Compliant

Stand-alone Sensors/Controls

PIR 8x-level (100/25%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIRH 8x-level (100/100%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIRHCYV 8x-level (100/100%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

PIRHCYCW 8x-level (100/100%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls

NLTARZ PIR 8xLightAR Wireless enabled to level motion/ambient sensor for 8-15' mounting heights.

NLTARZ PIRH 8xLightAR Wireless enabled to level motion/ambient sensor for 8-15' mounting heights.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3378) • www.lithonia.com
 © 2019-2022 Acuity Brands Lighting, Inc. All rights reserved. WDGE2 LED Rev. 11/21/22

Accessories

WDGE2PBBW 0000D-0 WDGE2 Surface-mounted back box (top left)

WDGE2SRM 0000D-0 WDGE2 Surface-mounted back box (top right)

NOTES

- PIR option not available with sensors/controls.
- PIR not available with AMB and LW.
- AMB and LW always go together.
- 10CR only available with T3M and T4M.
- 10W and 40W not available with EYOW or EYOWC.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- PE are available in 40W only with sensors/controls.
- DMC option not available with sensors/controls.

Performance Data

Lumen Output
 Lumen values from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 90 CRI)				30K (3000K, 90 CRI)				40K (4000K, 90 CRI)				50K (5000K, 90 CRI)				Amber Limited Wavelength			
			Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G
P0	7W	T3M	436	62	0.0	0.0	866	127	0.0	0.0	899	129	0.0	0.0	891	126	0.0	0.0	712	47	0.0	0.0
		T3M	662	94	0.0	0.0	899	130	0.0	0.0	728	106	0.0	0.0	779	114	0.0	0.0	741	48	0.0	0.0
		T3M	662	94	0.0	0.0	899	130	0.0	0.0	728	106	0.0	0.0	779	114	0.0	0.0	741	48	0.0	0.0
		T3M	648	94	0.0	0.0	879	126	0.0	0.0	712	103	0.0	0.0	754	102	0.0	0.0	728	47	0.0	0.0
P1	11W	T3M	662	94	0.0	0.0	866	127	0.0	0.0	727	104	0.0	0.0	768	103	0.0	0.0	736	48	0.0	0.0
		T3M	1,105	159	0.0	0.0	1,127	158	0.0	0.0	1,215	169	0.0	0.0	1,200	167	0.0	0.0	1,101	71	0.0	0.0
		T3M	1,102	159	0.0	0.0	1,264	178	0.0	0.0	1,264	178	0.0	0.0	1,249	172	0.0	0.0	1,101	71	0.0	0.0
		T3M	1,126	161	0.0	0.0	1,295	186	0.0	0.0	1,265	179	0.0	0.0	1,250	172	0.0	0.0	1,101	71	0.0	0.0
P2	11W	T3M	1,126	161	0.0	0.0	1,179	166	0.0	0.0	1,278	181	0.0	0.0	1,223	170	0.0	0.0	1,101	71	0.0	0.0
		T3M	1,133	161	0.0	0.0	1,186	168	0.0	0.0	1,240	172	0.0	0.0	1,230	170	0.0	0.0	1,101	71	0.0	0.0
		T3M	1,061	151	0.0	0.0	1,168	167	0.0	0.0	1,201	171	0.0	0.0	1,195	169	0.0	0.0	1,101	71	0.0	0.0
		T3M	1,075	151	0.0	0.0	1,163	163	0.0	0.0	1,261	180	0.0	0.0	1,207	167	0.0	0.0	1,101	71	0.0	0.0
P3	13W	T3M	1,876	199	1.0	1.0	1,964	198	1.0	1.0	2,062	198	1.0	1.0	2,038	197	1.0	1.0	1,876	199	1.0	1.0
		T3M	1,524	97	1.0	1.0	1,522	107	1.0	1.0	2,018	156	1.0	1.0	1,964	155	1.0	1.0	1,524	97	1.0	1.0
		T3M	1,807	97	1.0	1.0	1,934	102	1.0	1.0	2,030	107	1.0	1.0	2,066	106	1.0	1.0	1,807	97	1.0	1.0
		T3M	1,807	97	1.0	1.0	1,934	102	1.0	1.0	2,030	107	1.0	1.0	2,066	106	1.0	1.0	1,807	97	1.0	1.0
P4	4W	T3M	2,809	87	1.0	1.0	2,842	92	1.0	1.0	3,889	96	1.0	1.0	3,652	95	1.0	1.0	2,809	87	1.0	1.0
		T3M	2,224	97	1.0	1.0	2,242	95	1.0	1.0	3,216	108	1.0	1.0	3,176	99	1.0	1.0	2,224	97	1.0	1.0
		T3M	2,225	97	1.0	1.0	2,242	95	1.0	1.0	3,216	108	1.0	1.0	3,177	99	1.0	1.0	2,225	97	1.0	1.0
		T3M	2,262	89	1.0	1.0	2,280	93	1.0	1.0	3,140	98	1.0	1.0	3,110	97	1.0	1.0	2,262	89	1.0	1.0

Electrical Load

Performance Package	System Watts	2700K	3000K	4000K	5000K	3170K	4000K
P0	7.0	0.061	0.041	0.04	0.039	—	—
P1	11.0	0.100	0.064	0.059	0.054	—	0.031
P2	14.1	—	—	—	—	—	0.046
P3	19.0	0.168	0.106	0.095	0.083	—	—
P4	22.8	—	—	—	—	—	0.067
P5	32.0	0.284	0.163	0.144	0.131	—	—
P6	37.1	—	—	—	—	—	0.107
P7	47.0	0.412	0.234	0.207	0.185	—	—
P8	53.5	—	—	—	—	—	0.153

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
EWNH	1,158
EWOW	2,230

Lumen Ambient Temperature (LAT) Multiplier

Use these factors to determine relative lumen output for average ambient temperature from 0-40°C (32-104°F).

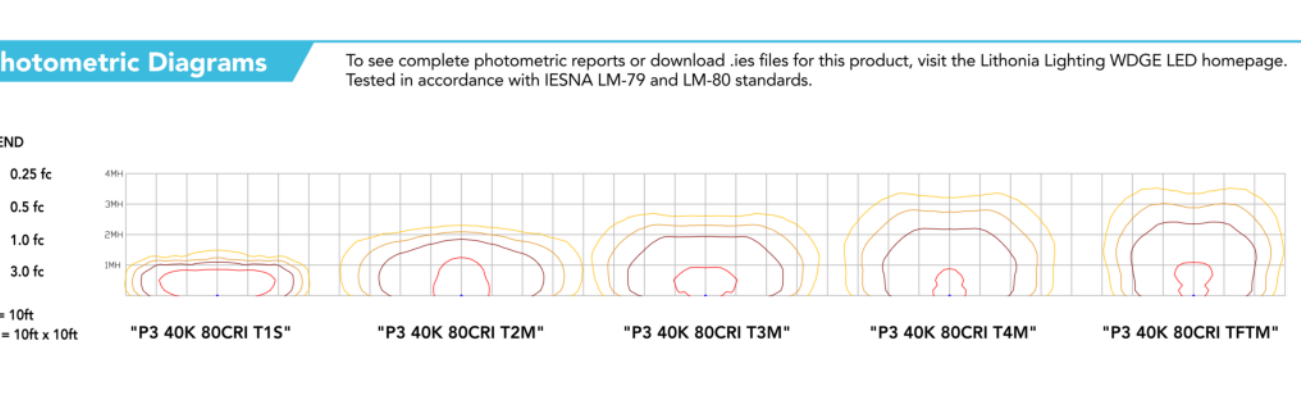
Ambient	Multiplier
0°C	1.03
5°C	1.02
10°C	1.01
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C environment over 10,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-21-11.

To calculate L₈₀, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>=0.96	>=0.93	>=0.87



Emergency Egress Options

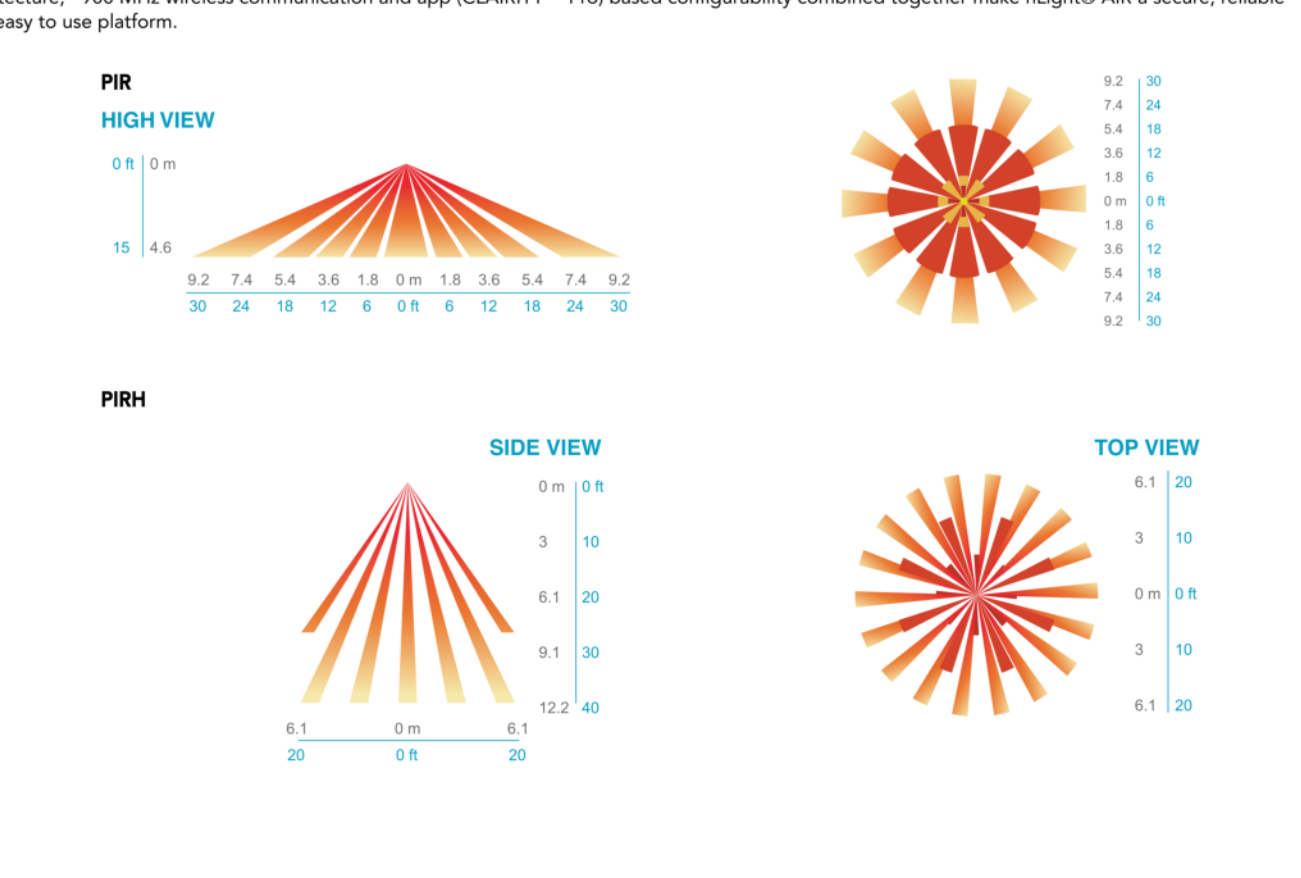
Emergency Battery Backup
 The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC — section 700.16, NFPA 101 Life Safety Code Section 7.9

Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)
 Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false triggering from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTARZ)
 nLightAR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 1000 MHz wireless communication and app (CLAIRTYM Pro) based configurability combined together make nLightAR a secure, reliable and easy to use platform.



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-008
PROJECT NAME: Site Plan for the Harbor Residence
SITE ADDRESS/LOCATIONS: 2550 PINNACLE WAY

CASE CAPTION: Discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a Site Plan for a 176-unit condominium building on a 3.59-acre tract of land, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Needs Review

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a 176-unit condominium building on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-008) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Please bring material samples by the February 28, 2023 Architectural Review Board meeting. (Subsection 03.04. A, of Article 11)

I.5 The subject property will be required to be Final Plat, to establish the new easements.

I.6 Staff will require fee simple deeds for each unit, before a Certificate of Occupancy is issued, to ensure the proposed development meets the City of Rockwall's definition of a Condominium.

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

M.8 Site Plan:

- (1) Is there a dog park? The concept plan from the zoning case indicated there was a dog park.
- (2) Please include the subject property square footage next to the acreage. (Subsection 03.04. B, of Article 11)
- (3) Please provide the perimeter dimensions of the site in feet. (Subsection 03.04. B, of Article 11)
- (4) Please provide the floor plan of the proposed building, including the parking garage. (Subsection 05.01, of Article 06)
- (5) Is there any fencing associated with this project? If so, indicate the height and type on the site plan along with a detail of the fence. The concept plan from the zoning case indicated a dog park, which should include fencing. (Subsection 08.02. F, of Article 08)
- (6) Is there any pad mounted utility equipment? If so, please indicate it on the site plan along with the associated screening. (Subsection 01.05. C, of Article 05)
- (7) Is there any roof mounted utility equipment? If so, please crosshatch it on the building elevations and ensure the parapet will fully screen it. (Subsection 01.05. C, of Article 05)
- (8) If the meters for the units will be clustered, please indicate where they will be located on the building. Please avoid high visibility areas. (Subsection 01.05. C, of Article 05)
- (9) Per the Planned Development District 32 (PD-32) ordinance this project is considered Urban Residential. Given this, the UDC states that "(g)round floor urban residential should have direct access to a sidewalk via a stoop or landing, and a majority of parking should be located in a structure." That being said, many of the first-floor units need to have direct access to the sidewalk. Opportunities exists along the northwest and southwest sides, as well as along the southeast side (see the mark-up for identified areas). (Subsection 02.03. B, of Article 04)
- (10) A streetscape plan must be provided. (PD-32; Ordinance No. 17-22)
- (11) Spec sheets for the benches must be provided. Trashcans must also be provided, along with their associated spec sheets. Decorative pots must also be provided, along with their associated spec sheets. (PD-32; Ordinance No. 17-22)

M.9 Landscape Plan:

- (1) Per PD-32 Cedar Elms must be the trees planted along New Glenn Hill Way. (PD-32; Ordinance No. 17-22)
- (2) Please match the trees and ornamental grass used along Summer Lee Drive. (PD-32; Ordinance No. 17-22)
- (3) Please provide a Streetscape Plan by the February 28, 2023 Planning and Zoning Commission Meeting.
- (4) All canopy trees shall be 4-inch caliper, all accent trees shall be a minimum of 4-feet in height, and all shrubs shall be a minimum of 5-gallon. (Subsection 05.03. B, of Article 05)

M.10 Treescap Plan:

- (1) Please indicate whether the new or old tree preservation ordinance is being utilized for the Treescap Plan.
- (2) Please use the spreadsheet example within Table 2 of Article 09 of the UDC to display the Treescap Table. (Subsection 03.01. G, of Article 09)
- (3) Accent trees do not count towards the tree mitigation balance. In this case you are planting 43 canopy trees, for a total of 172-inches. This brings the mitigation balance from 808.5-inches to 636.5-inches. This translates to a fee of \$63,650.00 (i.e. 636.5-inchs x \$100.00 per inch = \$63,650.00). Given this fee is greater than 20% of the mitigation total, an Alternative Tree Mitigation Settlement Agreement will need to be requested from City Council. Simply provide staff a letter outlining why this is being requested. (Subsection 03.01. G, of Article 09)

M.11 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)
- (2) Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property. (Subsection 03.03, of Article 07)
- (3) The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Please show conformance to this. (Subsection 03.03. G, of Article 07)
- (4) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. They shall also comply with the fixtures outlined within Planned Development District 32 (PD-32). (Subsection 03.03. A, of Article 07)

M.12 Building Elevations:

- (1) For the material percentages please indicate the percentage of each material (e.g. brick, stone, stucco, etc...). (Subsection 04.01, of Article 05)

- (2) Please remove the windows from the material percentages. Doors and windows do not count toward the total percentage. (Subsection 04.01, of Article 05)
- (3) Please provide specifications and description of all proposed building materials. (Subsection 04.01, of Article 05)
- (4) Please crosshatch the roof mounted utility equipment and ensure they are fully screened by the parapet. (Subsection 01.05. C, of Article 05)
- (5) Please indicate the block length and depth of the arcades. Per the Design Guidelines for PD-32, the arcades shall be limited to 33% of the block length and the arcades must be 8-12 feet deep. (PD-32 Resolution 10-40)
- (6) Uninterrupted roof lines shall not be greater than 60 feet in length. Roof lines may be interrupted by towers, roof extension over balconies and/or wall height difference. (PD-32 Resolution 10-40)
- (7) Concrete or clay tiles shall be used in a flat or barrel style application. The material and or style may be intermixed within a building elevation over 250 feet in length. (PD-32 Resolution 10-40)
- (8) Tower widths shall be within a range of 12 to 26 feet and shall make up a minimum of 15% of façades over 250 in length. Towers may enclose interior space or open-air balcony space. (PD-32 Resolution 10-40)
- (9) A minimum of one gable end secondary façade shall be incorporated into building elevations over 250 feet in length. (PD-32 Resolution 10-40)

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Needs Review

02/22/2023: - 64'x15' min dimension to be shown along with "No Parking" signage.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Dumpster/trash area to drain to an oil/water separator and then to the storm lines.
- Storm Pro-Rata \$7226.59/acre.
- Will require WOUS and wetland study for creek
- No grate inlets allowed. Must be wye (drop) or curb inlets.

Water and Wastewater Items:

- All electrical/franchise utility line to be underground.
- No structures in easements. Min. easement width is 20'.
- Minimum public utilities to be 8-inch.
- 12" water line to be installed in Glen Hill Way to connect to ex. 12" water
- Need to label water and sewer line sizes

Roadway Paving Items:

- All parking including parking garage are required to be a minimum of 20'x9' and no dead end parking (must have approved turnaround or hammerhead)
- Parallel parking to be 22'x9' (need to show dimensions)
- No dead end parking allowed.
- Fire Lane turn radii must be 30' minimum.
- Traffic Impact Analysis is required
- Need PD-32 required sidewalks along Summer Lee, Pinnacle Way and Glen Hill Way with landscaping and lighting. All paving/sidewalk adjacent to curb will be "lugged" into curb
- Need to dimension street widths

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Needs Review
02/23/2023: Review aerial fire apparatus access along the entire south side of the building. The proposed landscaping shall not interfere with the ability to deploy aerial apparatus access to the building along this side.			

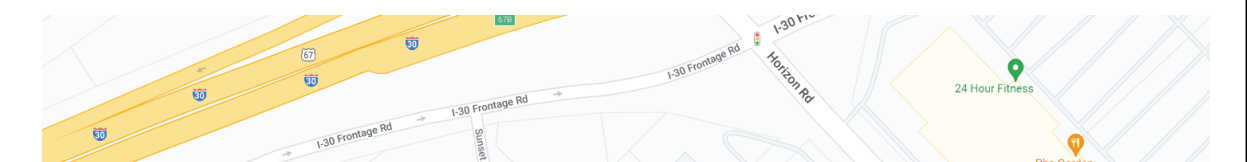
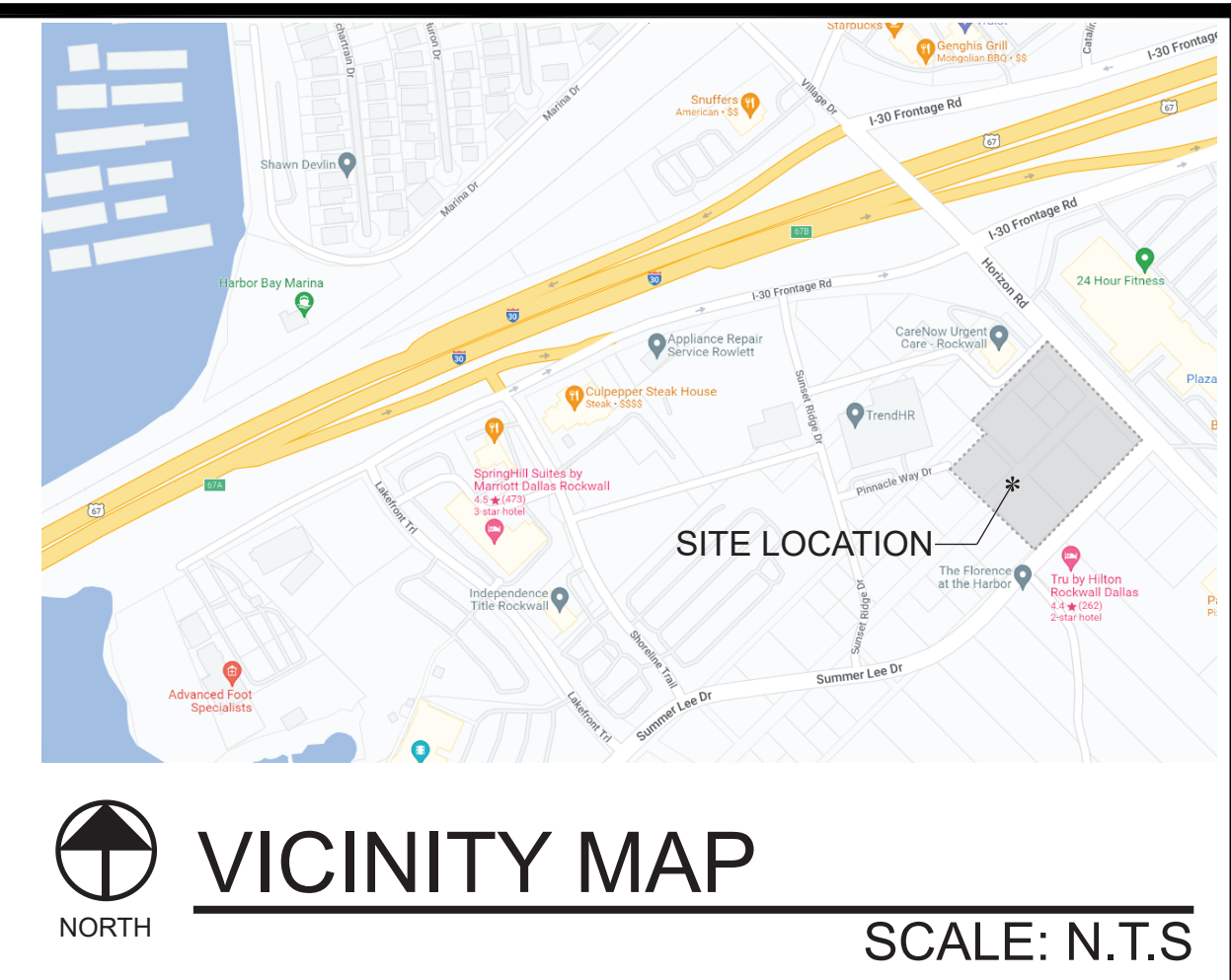
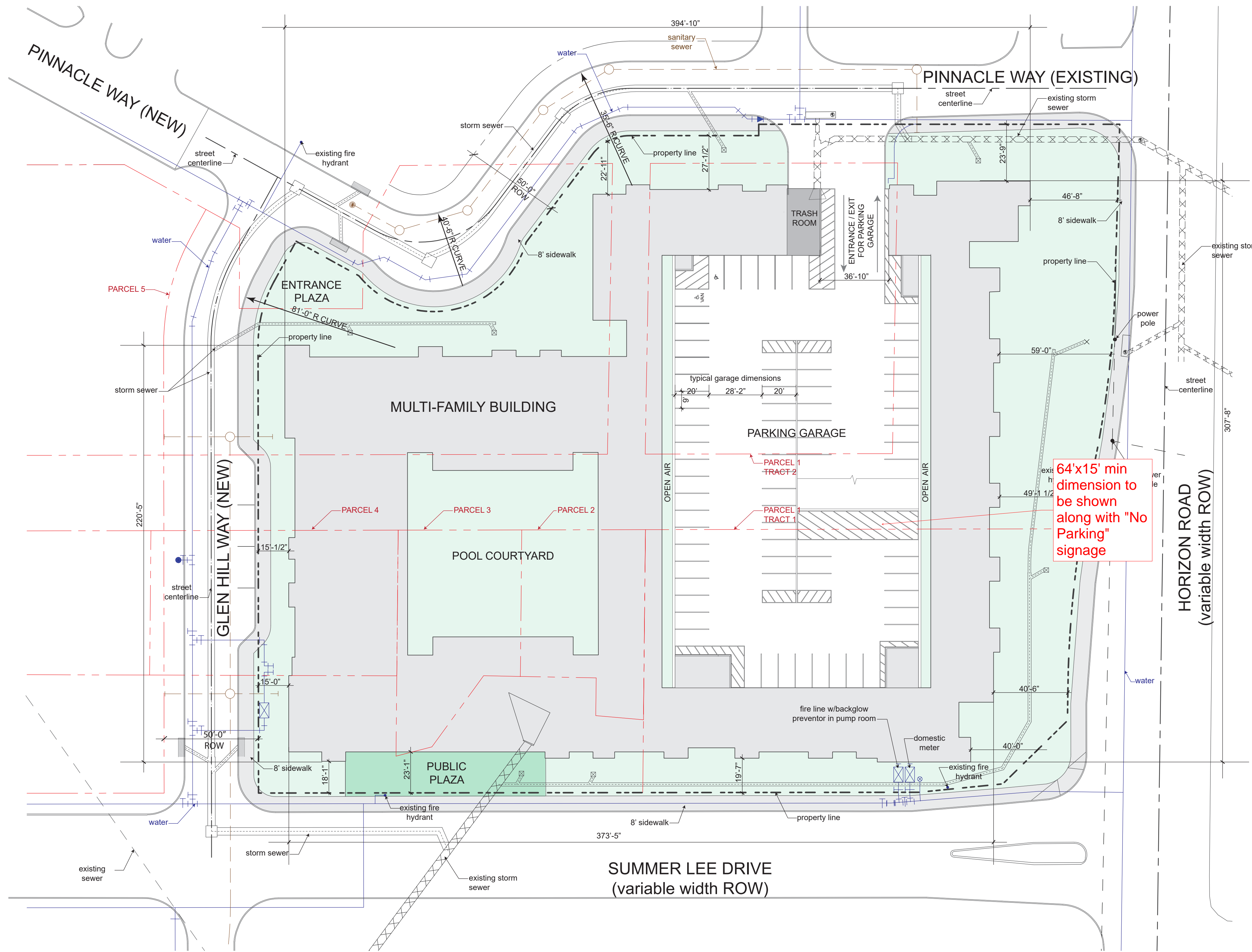
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved w/ Comments
02/21/2023: Assigned address will be 2550 PINNACLE WAY, ROCKWALL, TX 75032			

Please follow our Addressing Standards when designating unit numbers at <http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved w/ Comments

- 02/21/2023: 1. Landscape Plan (Shade/Canopy trees require 4" caliper minimum)
 2. Tree Mitigation (please show how trees are being mitigated either through planting or payment)

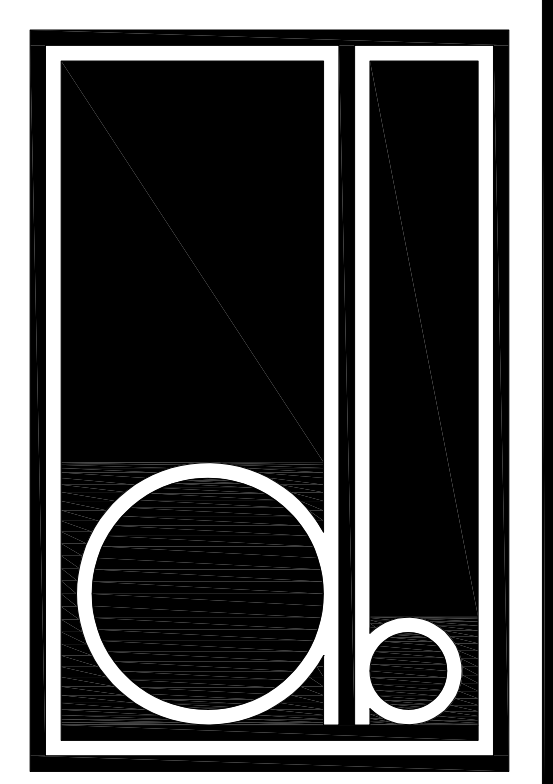


- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Drainage Items:**
- Dumpster/trash area to drain to an oil/water separator and then to the storm lines.
 - Storm Pro-Rata \$7226.59/acre.
 - Will require WOUS and wetland study for creek
 - No grate inlets allowed. Must be wye (drop) or curb inlets.
- Water and Wastewater Items:**
- All electrical/franchise utility line to be underground.
 - No structures in easements. Min. easement width is 20'.
 - Minimum public utilities to be 8-inch.
 - 12" water line to be installed in Glen Hill Way to connect to ex. 12" water
 - Need to label water and sewer line sizes
- Roadway Paving Items:**
- All parking including parking garage are required to be a minimum of 20'x9' and no dead end parking (must have approved turnaround or hammerhead)
 - Parallel parking to be 22'x9' (need to show dimensions)
 - No dead end parking allowed.
 - Fire Lane turn radii must be 30' minimum.
 - Traffic Impact Analysis is required
 - Need PD-32 required sidewalks along Summer Lee, Pinnacle Way and Glen Hill Way with landscaping and lighting. All paving/sidewalk adjacent to curb will be "lugged" into curb
 - Need to dimension street widths
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

SIDEWALK: 4" 3000 PSI CONCRETE W/#3 @ 24" OCEW

SITE PLAN

SCALE 1" = 30'-0"



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:

RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:

PORTION OF THEMOTDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, SITUATED WITHIN THE HILLSIDE MIXED USE SUBDISTRICT AND THE HORIZON/SUMMER LEE SUBDISTRICT OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32), GENERALLY LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF HORIZON ROAD AND SUMMER LEE DRIVE

DATE ISSUED:

02/17/2023

SHEET NUMBER AND TITLE:

2.1
SITE PLAN

CASE NUMBER:

Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict, and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Undeveloped
PROPOSED ZONING	PD-32	PROPOSED USE	Condominium
ACREAGE	3.59 Acres	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RIV Properties, LLC	<input type="checkbox"/> APPLICANT	RIV Properties, LLC
CONTACT PERSON	Brad Boswell	CONTACT PERSON	Brad Boswell
ADDRESS	PO Box 192054	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Dallas, TX 75219	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	214-493-3346	PHONE	214-493-3346
E-MAIL	bboswell@realtyinvestments.com	E-MAIL	bboswell@realtyinvestments.com

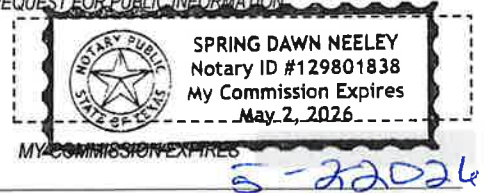
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bradley Boswell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 1,000.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

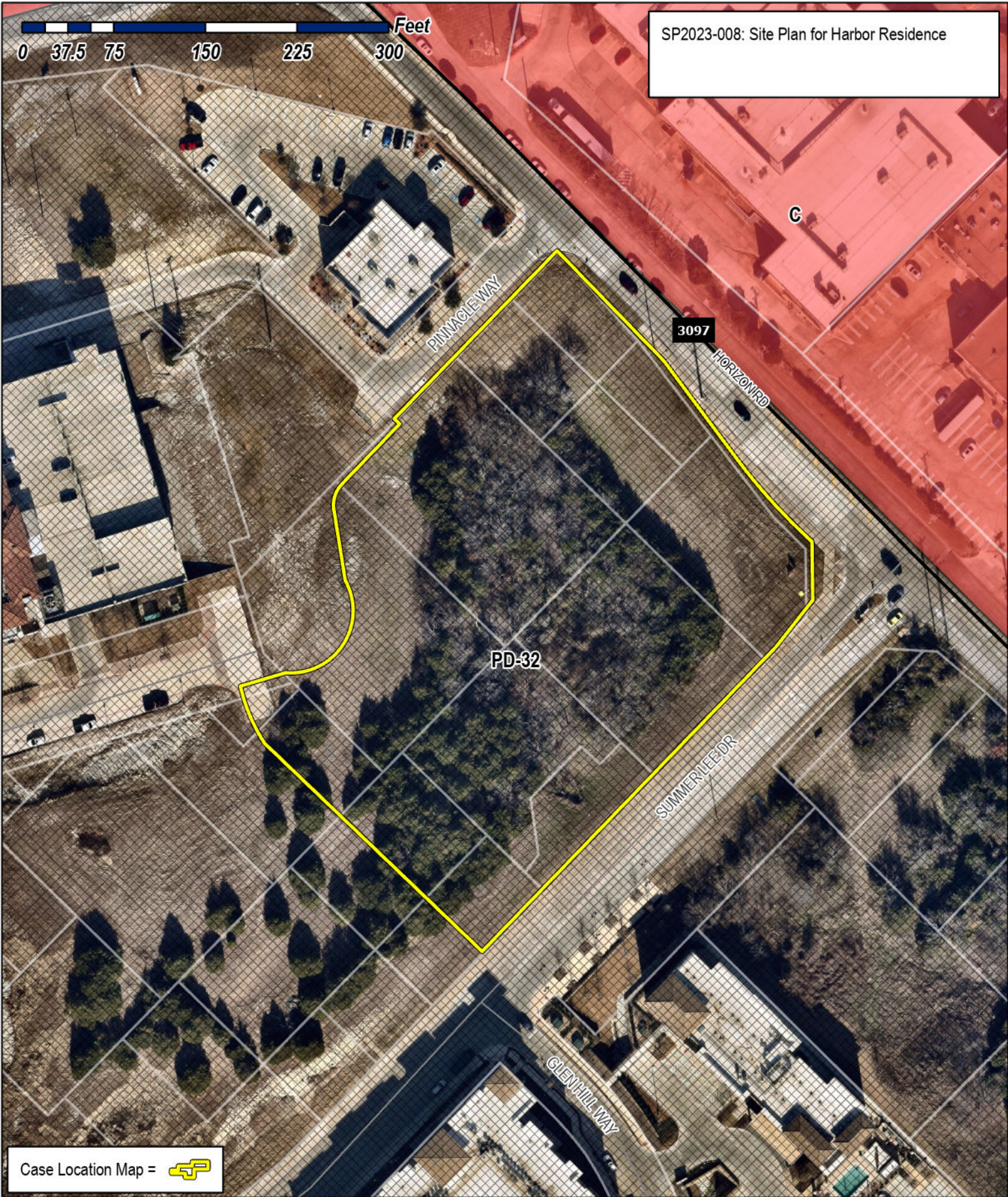
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF February, 2023
OWNER'S SIGNATURE Bradley Boswell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

SP2023-008: Site Plan for Harbor Residence



Case Location Map = 

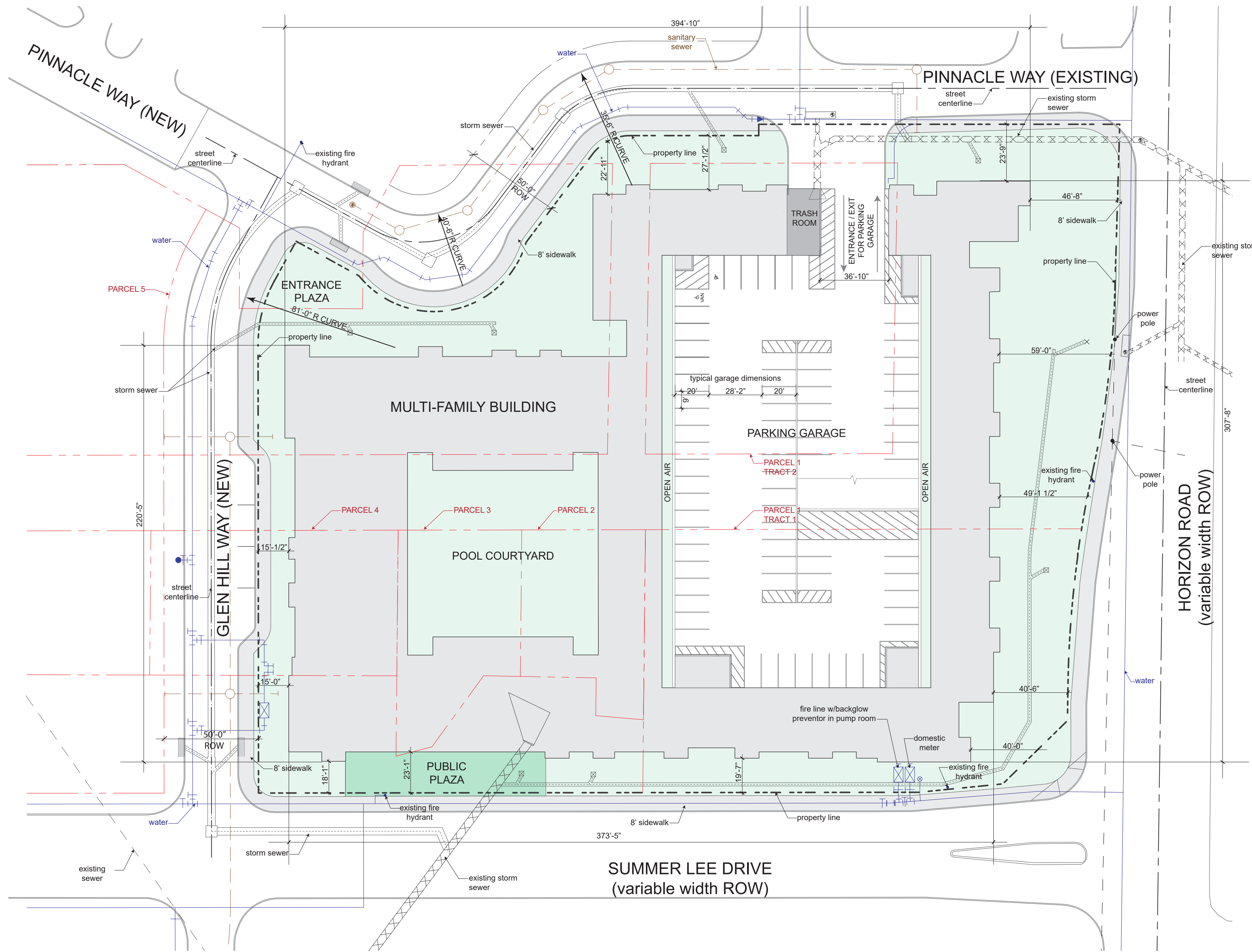


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

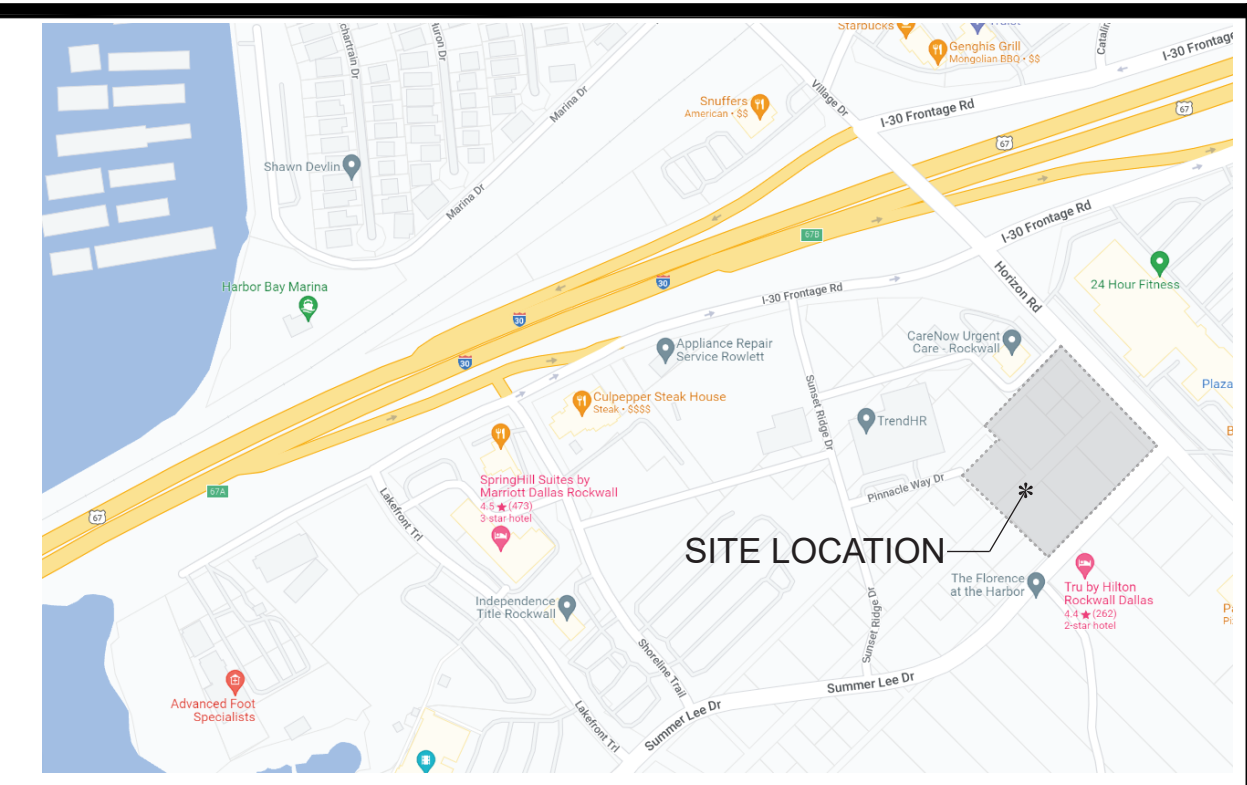
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



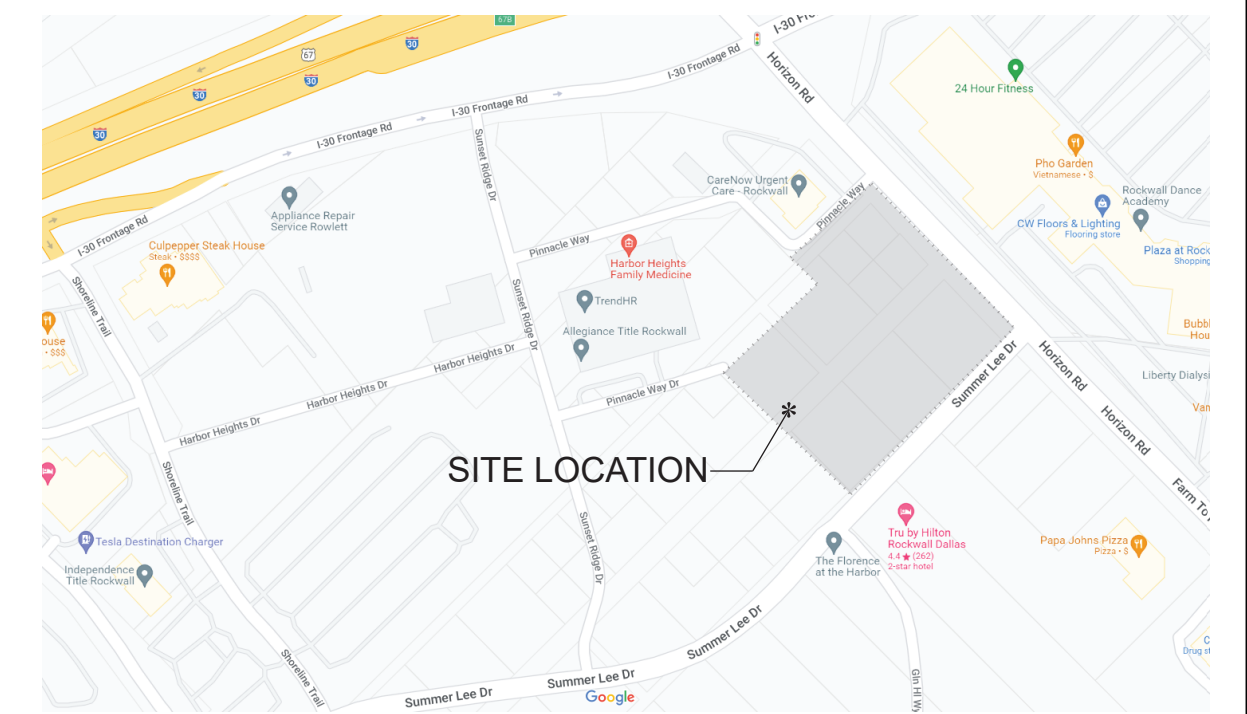


SITE PLAN

SCALE 1" = 30'-0"



VICINITY MAP
SCALE: N.T.S.



SITE MAP
SCALE: N.T.S.

PROJECT DATA

SITE AREA:
3.3 ACRES

LAND USE:
COMMERCIAL

BUILDING INFORMATION
ONE (1) THREE/FOUR STORY BUILDING

SQUARE FOOTAGE:
347,313 GSF
156,593 NRSF

UNIT INFORMATION
AVG. UNIT SIZE:
890 SF.

1 BEDRM UNIT TOTAL: 108 UNITS
2 BEDRM UNIT TOTAL: 60 UNITS
3 BEDRM UNIT TOTAL: 8 UNITS
TOTAL UNITS: 176 UNITS

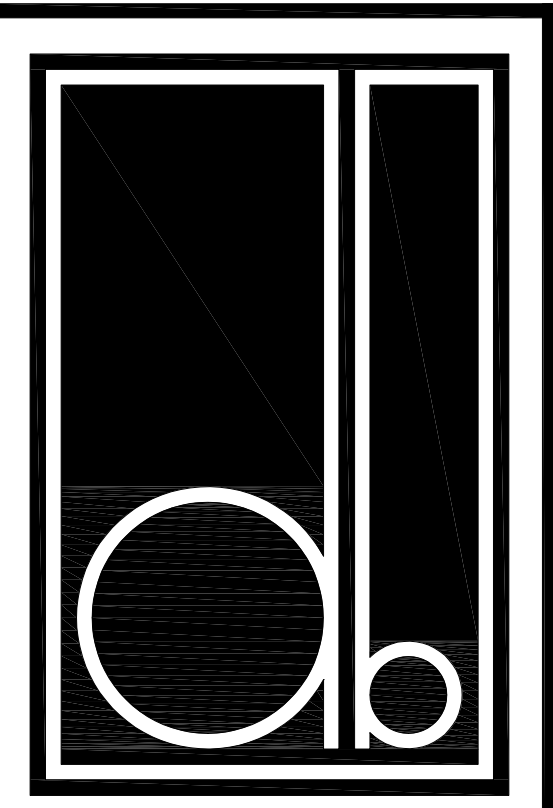
PARKING INFORMATION
305 PARKING SPACES PROVIDED @ 1.7 SPACES / UNIT

7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THOROUGH EACH PARKING LEVEL

SITE REQUIRES REPLATTING. LINES SHOWN AS FOLLOWS
 - - - - - CURRENT PLATS
 - - - - - FUTURE PLAT

PAVING INFORMATION

STREET: 6" 3600 PSI CONCRETE W/#4 @ 18" OCEW
 DRIVES: 6" 3600 PSI CONCRETE W/#3 @ 24" OCEW
 SIDEWALK: 4" 3000 PSI CONCRETE W/#3 @ 24" OCEW



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OWNER:

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DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:

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DATE ISSUED:
02/17/2023

SHEET NUMBER AND TITLE:

2.1
SITE PLAN

CASE NUMBER:
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



SURFACE AREA: 17,236 sf
 MATERIAL PERCENTAGE
 Masonry: 56%
 Stucco: 44%

MATERIAL LEGEND	
	BRICK VENEER - COLOR 1
	BRICK VENEER - COLOR 2
	STONE COLOR 1
	STUCCO - COLOR 1
	TRIM - COLOR 1
	CLAY ROOF TILE

4 WEST ELEVATION
 6.1 1/16" = 1'-0"

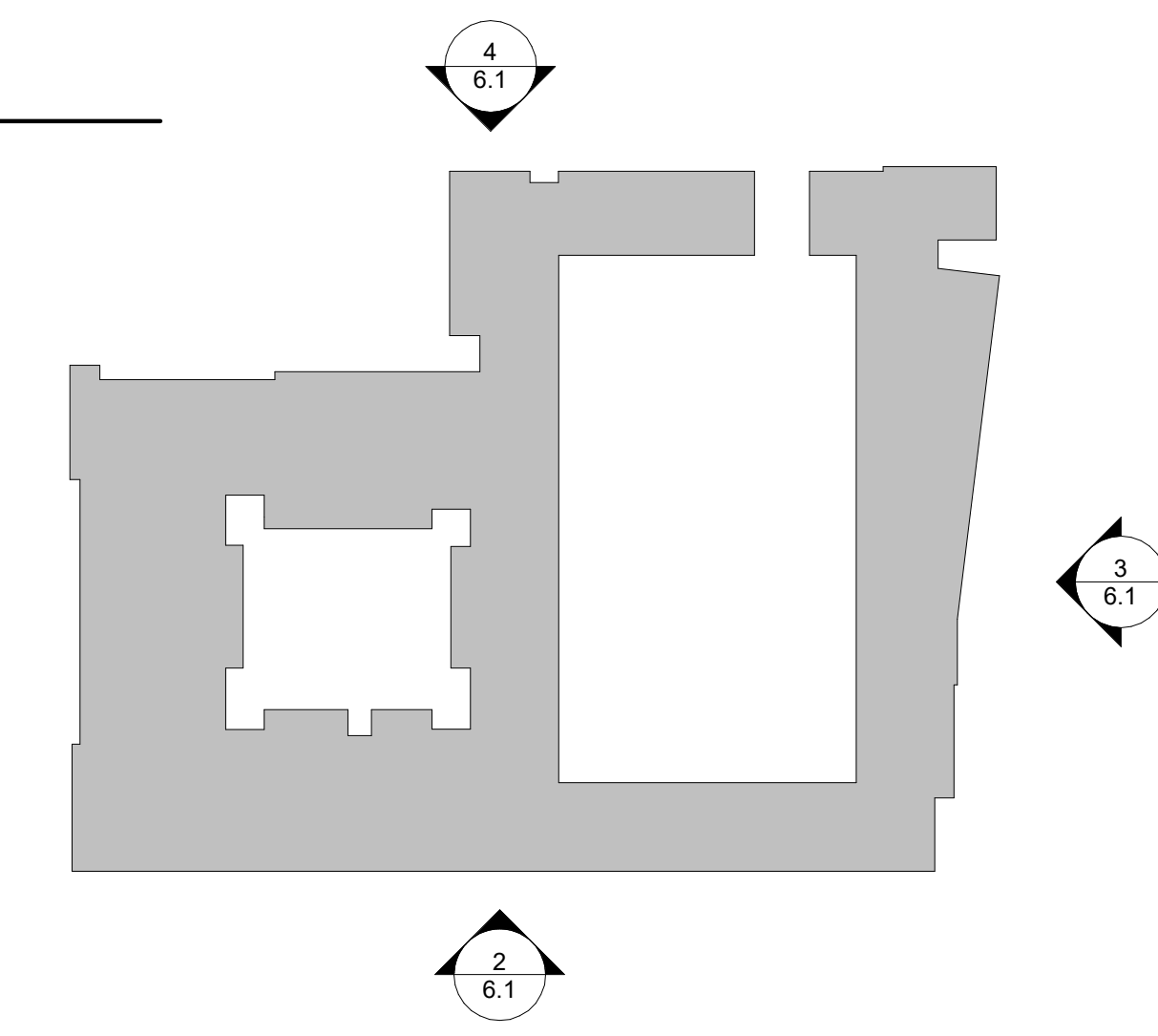


SURFACE AREA: 19,588 sf
 MATERIAL PERCENTAGE
 Masonry: 46%
 Stucco: 54%

3 SOUTH ELEVATION
 6.1 1/16" = 1'-0"



SURFACE AREA: 14,119 sf
 MATERIAL PERCENTAGE
 Masonry: 46%
 Stucco: 54%

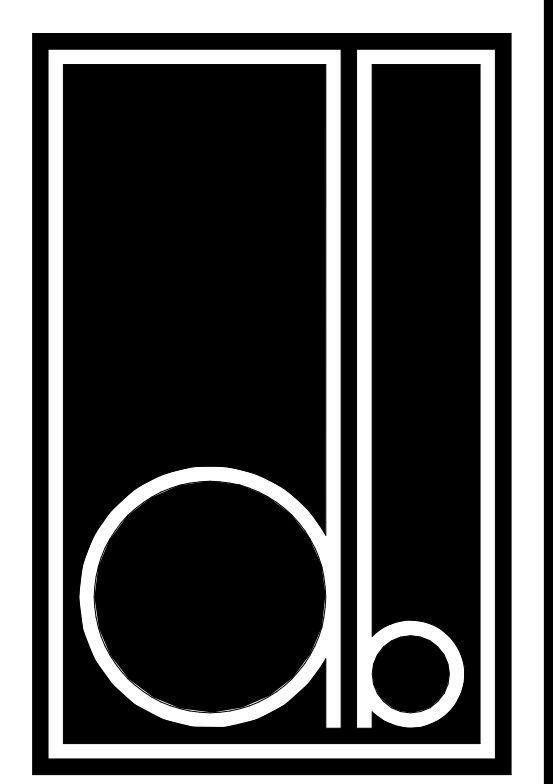


2 EAST ELEVATION
 6.1 1/16" = 1'-0"



SURFACE AREA: 21,619 sf
 MATERIAL PERCENTAGE
 Masonry: 51%
 Stucco: 49%

1 NORTH ELEVATION
 6.1 1/16" = 1'-0"



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DATE ISSUED:

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SHEET NUMBER AND TITLE:

6.1 BUILDING ELEVATIONS

CASE NUMBER:

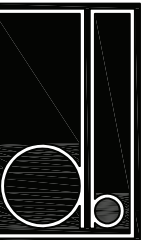
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



GABRIELA BLAKE
DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR. SUITE 607H
ROCKWALL, TEXAS 75032
915.861.2247



OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
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MAIN ENTRANCE PERSPECTIVE VIEW

N.T.S

PROJECT CASE NUMBER:

Z2022-058



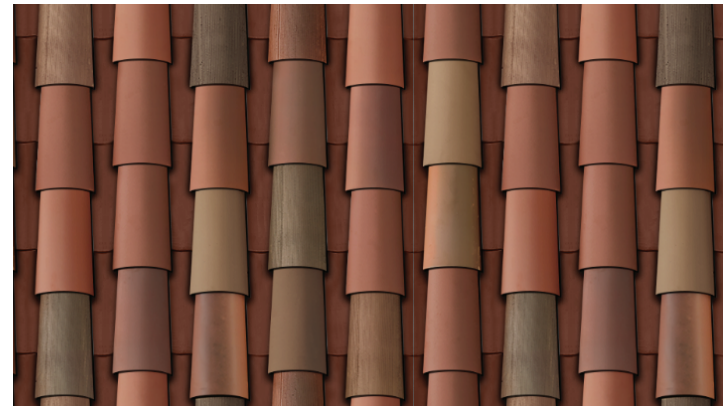
1. BRICK, ACME



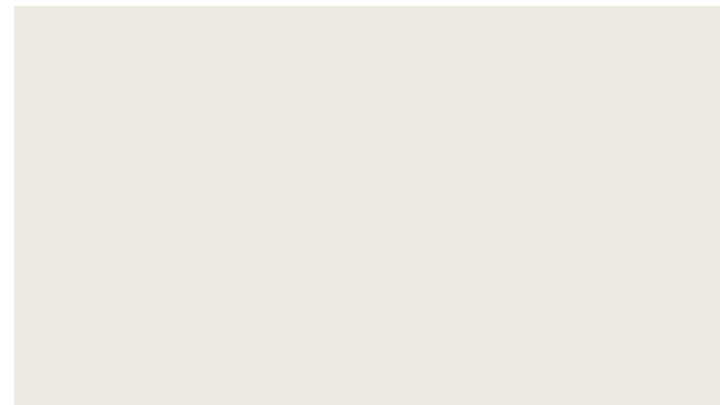
2. BRICK, ACME



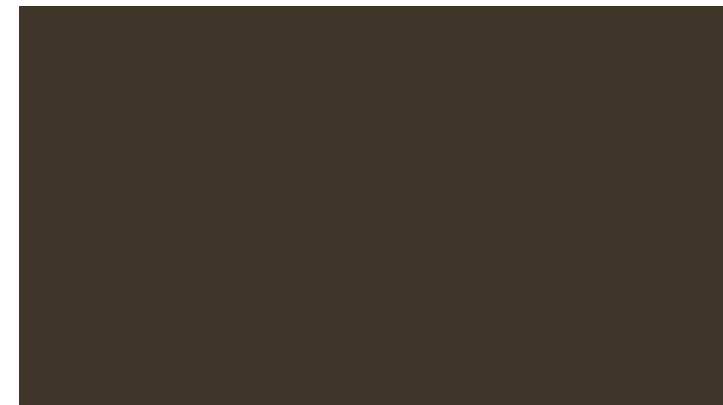
3. STONE, SALADO



4. CONCRETE SPANISH TILE



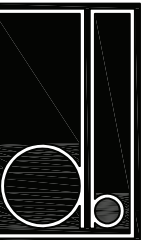
5. STUCCO, SHERWIN WILLIAMS (COLOR), MARSHAMLOW



6. FIBER CEMENT, SHERWING WILLIAMS (COLOR), IRON GATE



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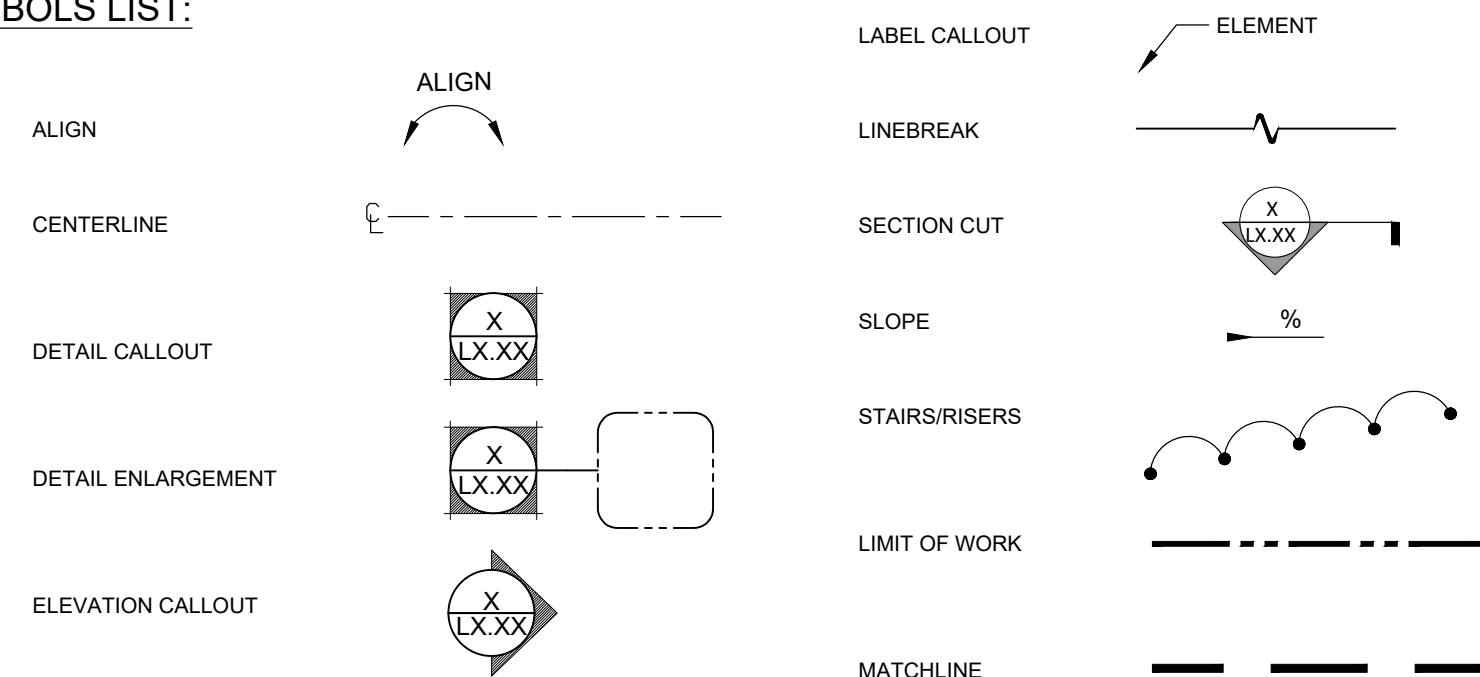
Z2022-058

ABBREVIATIONS

A	AD ADJ AFG ALT ALUM APPROX ARCH	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE ALUMINUM APPROXIMATE ARCHITECT(URAL)
B	BC BLDG BLKG BOC BOT BR BS BW	BOTTOM OF CURB BUILDING BLOCKING BACK OF CURB BOTTOM BOTTOM OF RAMP BOTTOM OF STAIR BOTTOM OF WALL
C	CEM CIP CJ CLR CMU CO COL CONT CONC CU FT	CEMENT CAST IN PLACE CONTROL JOINT CLEAR CONCRETE MASONRY UNIT CLEANOUT COLUMN CONTINUOUS CONCRETE CUBIC FEET
D	DD DE DI DIA DIAG DIM DN DS DWG(S)	DECK DRAIN DRAINAGE EASEMENT DRAIN INLET DIAMETER DIAGONAL DIMENSION DOWN DOWN SPOUT DRAWING(S)
E	E EA EJ EL ELEC EOP EQ ESMT EW EXP EXIST EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT EACH WAY EXPANSION EXISTING EXTERIOR
F	FAB FDC FH FIN FOC FT FTG	FABRIC FIRE DEPT. CONNECTION FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING
G	GA GAL GALV GC GV	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GATE VALVE
H	HDW HDWZ HORZ HP HT	HARDWARE HARDWOOD HORIZONTAL HIGH POINT HEIGHT
I	ID INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT
J	JB JT	JUNCTION BOX JOINT
K	KO	KNOCK OUT
L	L LT LP	LENGTH LIGHT LOW POINT

NOTE: ABBREVIATIONS APPLY TO LANDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

SYMBOLS LIST:



GENERAL NOTES:

- BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: BDD ENGINEERING
- ARCHITECTURAL INFORMATION IS FROM PLANS BY: DESIGN BALANCE
- WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
- DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDESIGN IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS SPECIFIC TO THE SCOPE OF THIS DRAWING PACKAGE ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM INACCURATE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDED BY LANDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDESIGN PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDESIGN SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

MATERIALS + PAVING NOTES:

- ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
 - PROOF-ROLL SUBGRADE PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR UNIFORM AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
 - PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
 - THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.
 - CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM DIRECT SUNLIGHT.
 - DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
 - CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
 - SLUMP: 3 TO 5 INCHES
 - AIR CONTENT: 4 TO 6 PERCENT BY VOLUME
 - CONCRETE THICKNESS:
 - PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
 - ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
 - CONCRETE REINFORCING:
 - 4" THICK PAVING: #3s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - 8" THICK PAVING: #5s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
 - ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
 - CONTROL JOINTS (TROWEL OR SAW CUT)
 - TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
 - SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
 - SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".
 - EXPANSION JOINTS
 - PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
 - PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
 - EXPANSION JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED WITH AN ELASTOMERIC SEALANT COLOR SHALL MATCH PAVEMENT.
 - CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
 - ALL CONSTRUCTION JOINTS SHALL BE SAWN, CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
 - CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
 - BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
 - PROPOSED PAVEMENT AND/OR CURBS INTENDED TO BE TIE INTO EXISTING SHALL MATCH SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
 - PAVEMENT MARKINGS
 - PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF ROCKWALL "UNIFORM TRAFFIC MANUAL FOR PAVEMENT MARKINGS."
 - FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.
 - ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.
 - PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE, UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNTHICKED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURERS RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED, PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.
 - CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
 - ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER, UNLESS NOTED OTHERWISE. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

ACCESSIBILITY NOTES:

- MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
- MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
- ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDESIGN.

IRRIGATION NOTES:

- A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- ALL PLANTING BEDS/ SHRUB AND GROUND COVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
- ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
- IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
- PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

LAYOUT NOTES:

- ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE CITY OF ROCKWALL (LATEST REVISION)
- EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- ALL CURB RADI AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
- ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- LAY PAVERS IN PATTERNS SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
- PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
- JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
- FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.
- CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
- ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
- IN NO CASE SHALL A CUT PAVES BE LESS THAN 1/3 FULL PAVES SIZE.
- PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

GRADING NOTES:

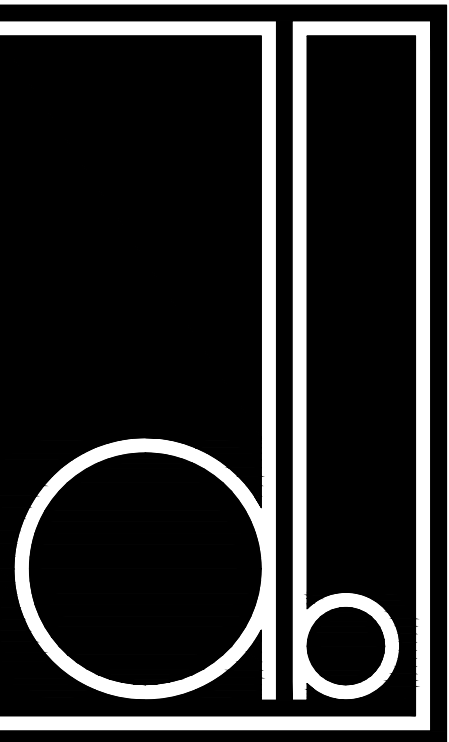
- STAKE PER SPOT ELEVATIONS AND NOTED SLOPES, CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
- WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
- ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
- REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
- ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
- CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
- CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
- REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

PLANTING NOTES:

- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 - 2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
- CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDESIGN PRIOR TO PURCHASE.
- SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDESIGN PRIOR TO INSTALLING. LANDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
- SHRUB/GROUND COVER BEDS SHALL BE STAKED FOR REVIEW BY LANDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
- LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND/OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND/OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
- LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SLUMP, FILTER FABRIC AND STAKE PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E. SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUND COVER ZONES AND 36" FOR TREE PITS.
- AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUND COVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
- IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
- LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

PLANTERS/POTS/SEASONAL PLANTING NOTES:

- SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS; MINIMUM 36" DEPTH FOR ALL TREES.
- A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
- PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED FREQUENCY DURING HOT DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
- WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL, SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
- IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
- CONTACT LANDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
- ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
- AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
- SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
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ROCKWALL, TX 75032
214.668.2306

OWNER:

RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:

PORTION OF THEMOTDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, SITUATED WITHIN THE HILLSIDE MIXED USE SUBDISTRICT AND THE HORIZON/SUMMER LEE SUBDISTRICT OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32), GENERALLY LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF HORIZON ROAD AND SUMMER LEE DRIVE

DATE ISSUED:

02/17/2023

SHEET NUMBER AND TITLE:

L001

GENERAL NOTES

CASE NUMBER:

Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

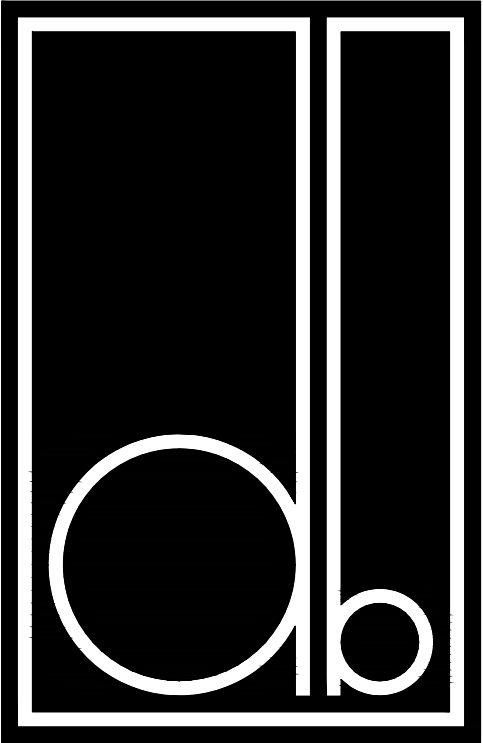
REFERENCE NOTES SCHEDULE

COORDINATION NOTES										
CODE	DESCRIPTION	DETAIL								
C-101	WALL, RE: CIVIL									
FENCE AND RAILING										
CODE	DESCRIPTION	DETAIL	MANUFACTURER	MODEL	MATERIAL	COLOR	FINISH	REMARKS		
F-101	FENCE - TYPE 1		-	-	-	-	-	UNIT FENCE TO MATCH BALCONIES, SEE ARCH PLANS		
F-102	FENCE - TYPE 2		AMERISTAR	OMEGA ARCHITECTURAL		BLACK				
F-103	GATE - TYPE 1		OMEGA	OMEGA ARCHITECTURAL		BLACK				
F-104	FENCE - TYPE 3		AQUAVIEW	GLASS POOL FENCE				48" HEIGHT		
F-105	GATE - TYPE 2		AQUAVIEW	GLASS POOL GATE				48" HEIGHT		
LANDSCAPE										
CODE	DESCRIPTION	DETAIL	MODEL	SIZE	COLOR					
L-102	MULCH - TYPE 1		SHREDDED HARDWOOD MULCH		NATURAL					
L-103	MULCH - TYPE 2		DECORATIVE ROCK MULCH	3-5"						
L-104	MULCH - TYPE 3		MEXICAN BEACH PEBBLE							
PAVING										
CODE	DESCRIPTION	DETAIL	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	PATTERN / JOINT	REMARKS
P-101	CONCRETE - TYPE 1						STANDARD GREY	BROOM		
P-102	CONCRETE - TYPE 2		DAVIS CONCRETE COLORS			INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	SEE PAVING PLANS.	PAVING PLANS ARE UNDER DEVELOPMENT.
P-103	CONCRETE - TYPE 3		DAVIS CONCRETE COLORS			INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	SEE PAVING PLANS.	PAVING PLANS ARE UNDER DEVELOPMENT.
P-104	PAVERS - TYPE 1		WAUSAU	FRONTIER	12" X 24" X 2"	CONCRETE	HFT-85/SRI 41 + HFT 25/SRI 53		SEE PAVING PLANS.	PAVING PLANS ARE UNDER DEVELOPMENT.
P-105	PAVERS - TYPE 2		TECHO-BLOC	INDUSTRIA SMOOTH	900 X 600	CONCRETE	BEIGE CREAM + CHESTNUS BROWN	HD SMOOTH	SEE PAVING PLANS.	PAVING PLANS ARE UNDER DEVELOPMENT.
P-106	ARTIFICIAL TURF		SYNLAWN	SYNAUGUSTINE X47	1 5/8" PILE HEIGHT		FIELD GREEN / OLIVE / APPLE	100 OZ. WEIGHT	PROVIDE SAND INFILL MIX, DEPTH PER MANUFACTURER'S RECOMMENDATIONS	
POOL										
CODE	DESCRIPTION	DETAIL	MANUFACTURER	MODEL	SIZE	COLOR	REMARKS			
PL-101	POOL COPING		TECHO-BLOC	BULLNOSE GRANDE	12" X 5"	BEIGE CREAM				
PL-102	SUN SHELF						SEE POOL CONSULTANT DRAWINGS			
PL-103	SEAT LEDGE						SEE POOL CONSULTANT DRAWINGS			
PL-104	ENTRY STAIRS						SEE POOL CONSULTANT DRAWINGS			
PL-105	POOL BUBBLER						SEE POOL CONSULTANT DRAWINGS			
SITE FURNISHINGS										
CODE	DESCRIPTION	DETAIL	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MOUNT SURFACE	REMARKS
S-101	BENCH - TYPE 1		LANDSCAPE FORMS	NEOLIVANO	27" X 69" X 31"	DSTMA & ALUMINUM			SURFACE	
S-102	BENCH - TYPE 2		SCARBOROUGH	BACKED	28" X 72" X 34"		RAL #7003 MOSS GREY		SURFACE	PER PUD STANDARDS
S-103	BENCH - TYPE 3									
S-104	PLANTER POT									
S-105	ENTRY PLANTER									
S-106	BIKE RACK		FORMS+SURFACES	TRIO BIKE RACK		ALUMINUM				
S-107	PET WASTE RECEPTACLE		DOG-ON-IT	COMPLETE DOG WASTE STATION #7408S	10 GALLON ROUND	POWDERCOATED STAINLESS STEEL			SURFACE	
S-108	BOTTLE FILLER STATION WITH WATER FOUNTAIN & PET BOWL		DOG ON IT PARKS	BOTTLE-FILLER WITH BARRIER-FREE FOUNTAIN AND PET BOWL #7219					SURFACE	
S-109	FIRE FEATURE			CUSTOM						RE DETAILS
S-110	GAS GRILL		BULL GRILLS	BRAHMA 5-BURNER GAS GRILL	38.5" X 21" X 9.5"	STAINLESS STEEL			BUILT-IN SURFACE	
S-111	DRINK RAIL		LANDSCAPE FORMS	JESSE DRINK RAIL					SURFACE	
S-112	CABANA		TUCCI	SOLANOX	8' X 8'	NATURAL ALUMA-TEAK		SANDBAR	POWDERCOAT	SURFACE
WALLS AND STAIRS										
CODE	DESCRIPTION	DETAIL	FINISH	CAP	HEIGHT	REMARKS				
W-101	WOOD BENCH		WOOD	WOOD		CUSTOM BENCH - SEE DETAILS				
W-102	CURB-STEP									
W-103	STAIR - TYPE 1		SMOOTH			TO MATCH INTEGRALLY COLORED CONCRETE				
W-104	PLANTER WALL									

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	QTY	REMARKS
	AR	Acer rubrum 'October Glory'	October Glory Red Maple	CONT.	3" CAL. / 7' HEIGHT MIN.	3	
	CI	Carya illinoensis	Pecan	CONT.	3" CAL. / 7' HEIGHT MIN.	3	
	CT2	Cercis canadensis texensis 'Texas White'	Texas White Redbud	CONT.	3" CAL. / 7' HEIGHT MIN.	13	
	CL	Chilopsis linearis	Desert Willow	CONT.	3" CAL. / 7' HEIGHT MIN.	22	
	ID	Ilex decidua	Possumhaw Holly	CONT.	3" CAL. / 7' HEIGHT MIN.	10	
	IN	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	CONT.	3" CAL. / 7' HEIGHT MIN.	2	
	ML	Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	CONT.	3" CAL. / 7' HEIGHT MIN.	3	
	QB	Quercus buckleyi	Texas Red Oak	CONT.	3" CAL. / 7' HEIGHT MIN.	12	
	QV	Quercus virginiana	Southern Live Oak	CONT.	3" CAL. / 7' HEIGHT MIN.	8	
	RL	Rhus lanceolata	Flameleaf Sumac	CONT.	3" CAL. / 7' HEIGHT MIN.	4	
	TD	Taxodium distichum	Bald Cypress	CONT.	3" CAL. / 7' HEIGHT MIN.	1	
	UC	Ulmus crassifolia	Cedar Elm	CONT.	3" CAL. / 7' HEIGHT MIN.	13	
EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	AGK	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Glossy Abelia	3 GAL		47	
	ICB	Ilex comuta 'Burford Nana'	Dwarf Burford Holly	3 GAL		22	
	IVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 GAL		256	
	LFS	Leucophyllum frutescens	Texas Sage	3 GAL		34	
	PLO	Polemonium longiflorum	Mexican Oregano	3 GAL		28	
	ROR	Rosmarinus officinalis	Rosemary	3 GAL		131	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	LMB	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 GAL		374	
	NTF	Nassella tenuissima	Mexican Feather Grass	1 GAL		431	
	SSS	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	1 GAL		259	

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	DAS	Dichondra argentea	Silver Dichondra	1 GAL		53	
LANDSCAPE BUFFER SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	AGG	Abelia x grandiflora	Glossy Abelia	3 GAL		18	
	HQO	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	3 GAL		11	
	MPW	Myrica pumila	Dwarf Wax Myrtle	3 GAL		12	
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	EPM	Echinacea purpurea 'Magnus'	Purple Coneflower	1 GAL		55	
	MDB	Monarda didyma	Bee Balm	1 GAL		24	
	PBR	Penstemon baccharifolius	Rock Penstemon	1 GAL		50	
	SGS	Salvia greggii	Autumn Sage	1 GAL		27	
SHADE	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	AEC	Aspidistra elatior	Cast Iron Plant	3 GAL		66	
	NRW	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	3 GAL		21	
YUCCA & AGAVE	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	REMARKS
	HPR	Hesperaloe parviflora	Red Yucca	3 GAL		58	
	YFC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	3 GAL		80	
	YGT	Yucca gloriosa tristis	Curveleaf Spanish Dagger	3 GAL		31	
	YPP	Yucca pallida	Pale-leaf Yucca	3 GAL		32	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SPACING	REMARKS
	CTS-Q	Carex texensis	Texas Sedge	4" POTS	12" O.C.	12" o.c.	
	SS	Stenotaphrum secundatum	St. Augustine Grass	SOD			



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:

RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:

PORTION OF THEMOTDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, SITUATED WITHIN THE HILLSIDE MIXED USE SUBDISTRICT AND THE HORIZON/SUMMER LEE SUBDISTRICT OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32), GENERALLY LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF HORIZON ROAD AND SUMMER LEE DRIVE

DATE ISSUED:

02/17/2023

SHEET NUMBER AND TITLE:

L100

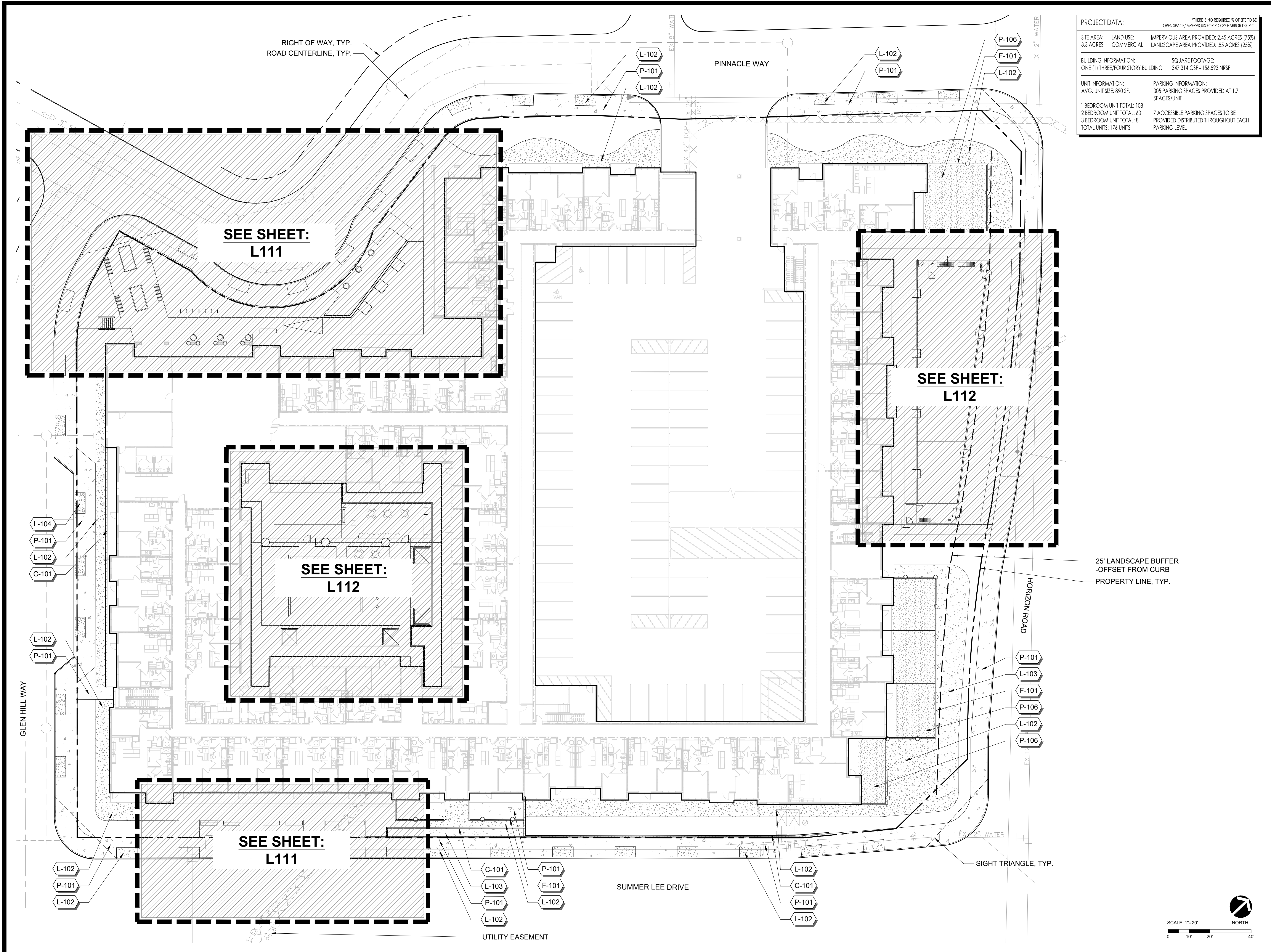
SCHEDULES

CASE NUMBER:

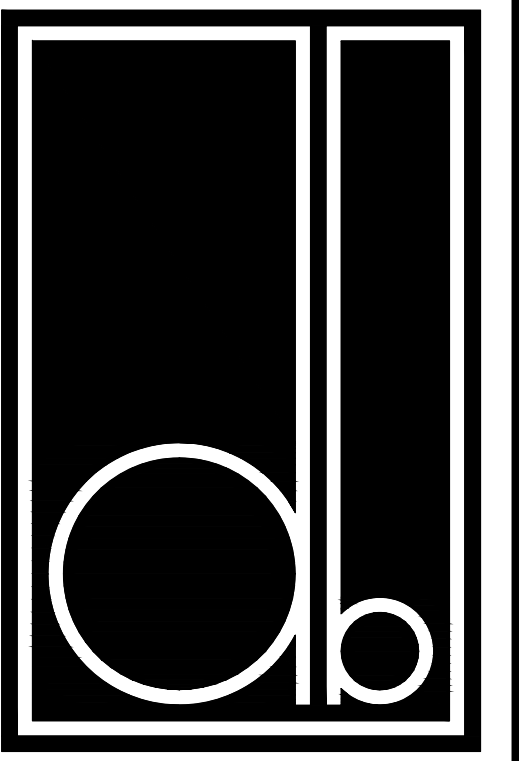
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-322 HARBOR DISTRICT.	
SITE AREA: 3.3 ACRES	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)	LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL.	
2 BEDROOM UNIT TOTAL: 60			
3 BEDROOM UNIT TOTAL: 8			
TOTAL UNITS: 176 UNITS			



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DATE ISSUED:
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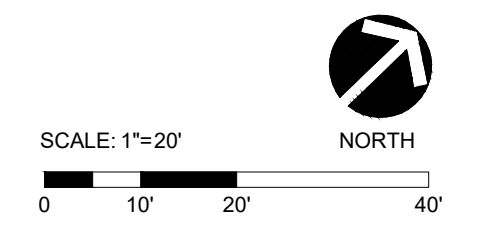
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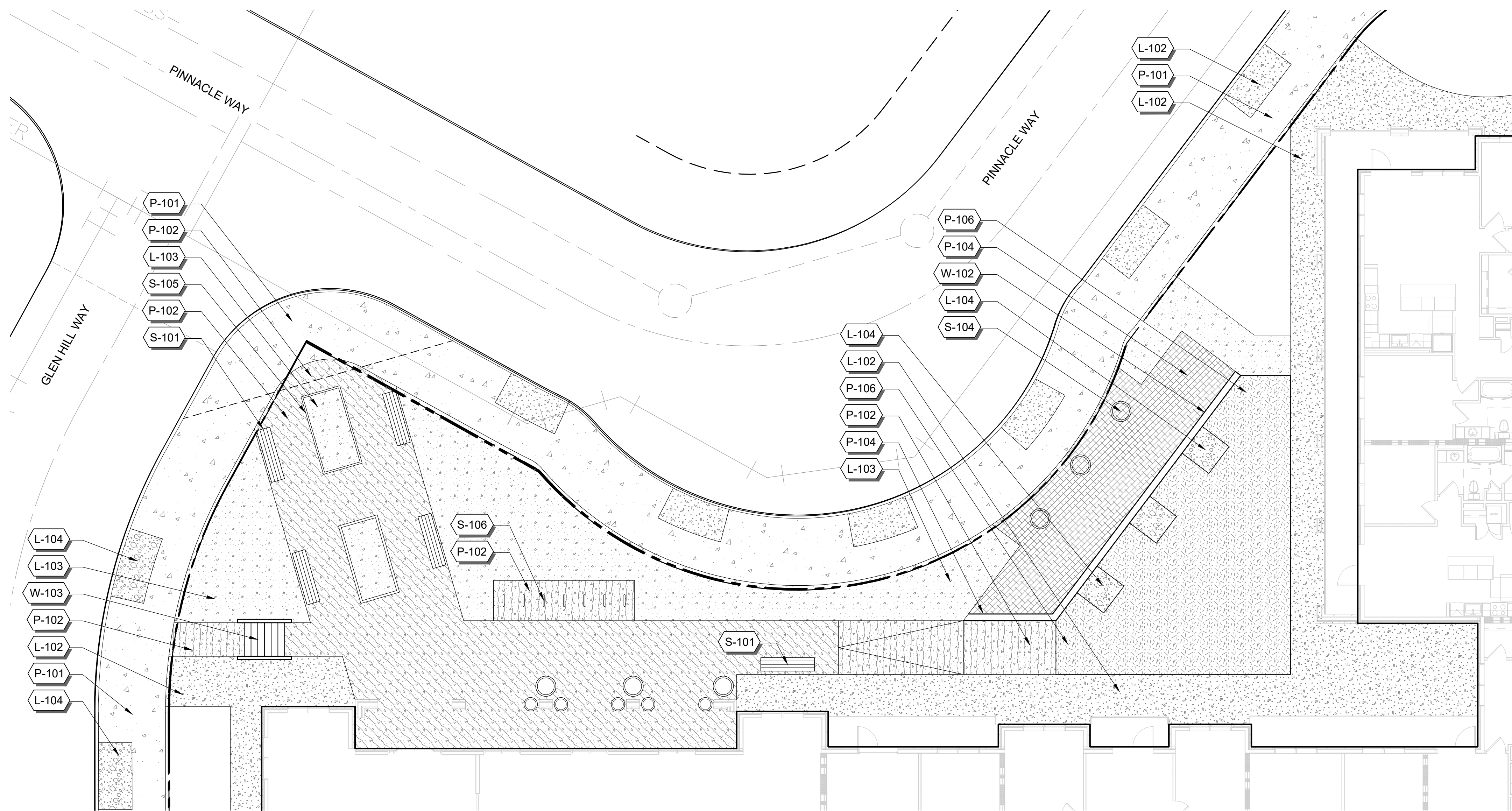
L110
LANDSCAPE PLAN - MATERIALS

CASE NUMBER:
Z2022-058

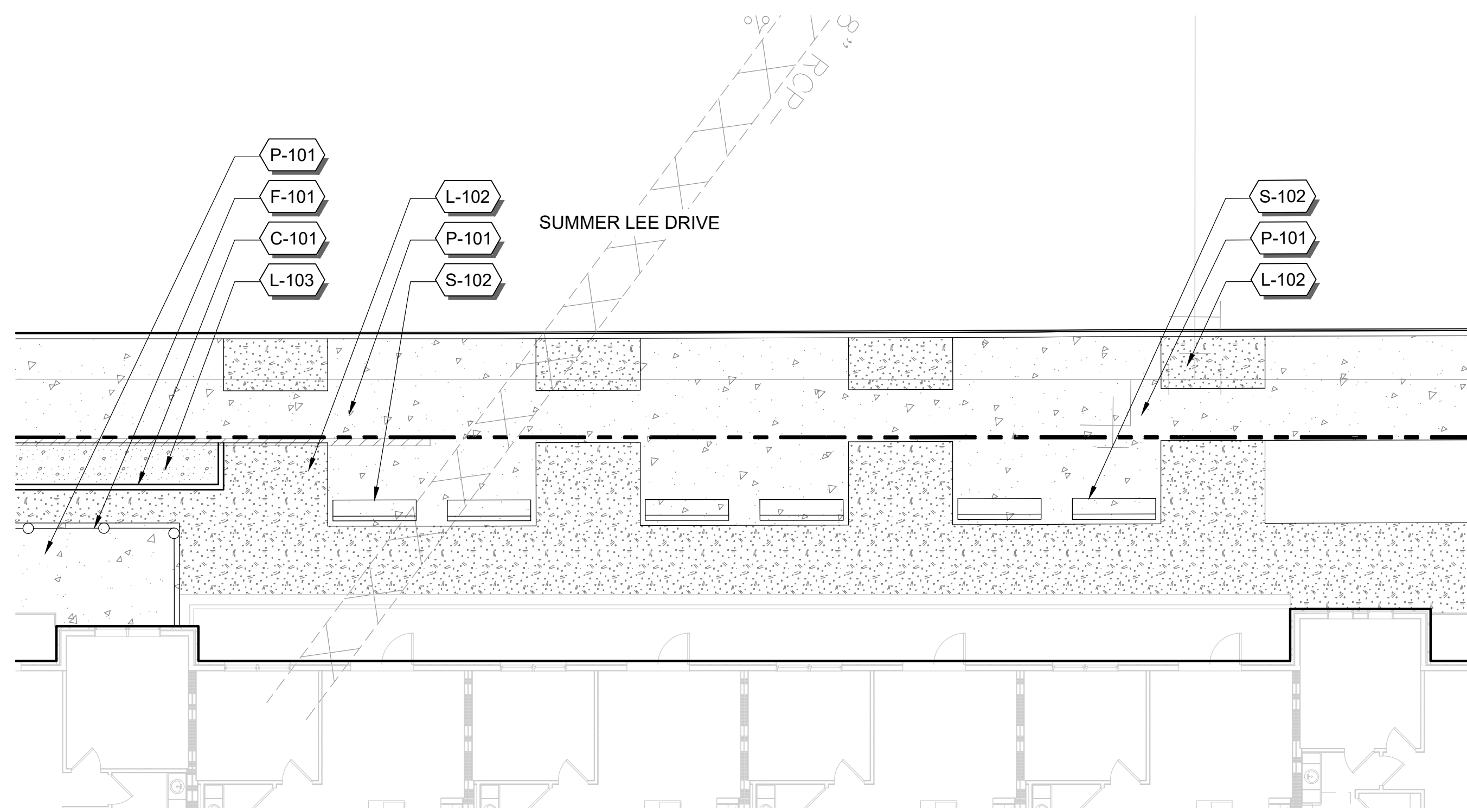
PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

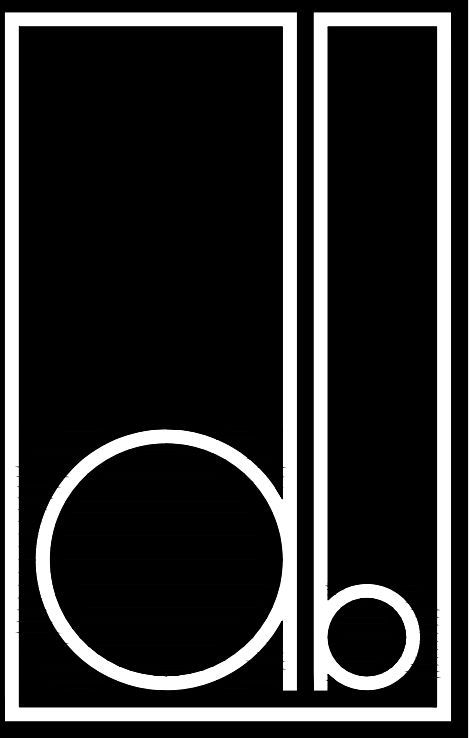




1 ENTRY COURTYARD - SITE PLAN
SCALE: 1" = 10'



2 PUBLIC PLAZA - SITE PLAN
SCALE: 1" = 10'



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DATE ISSUED:

02/17/2023

SHEET NUMBER AND TITLE:

L111

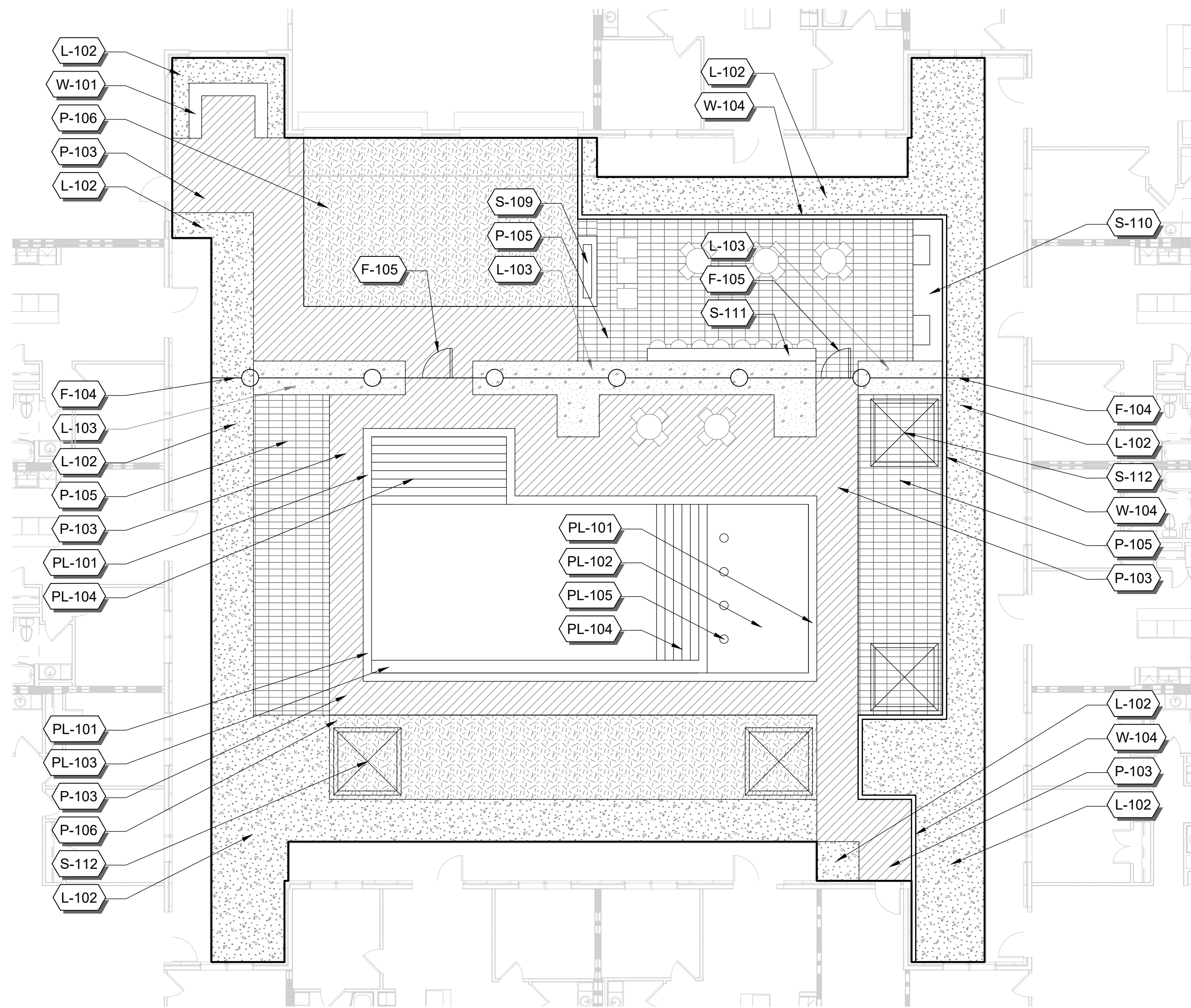
LANDSCAPE PLAN - MATERIALS

CASE NUMBER:

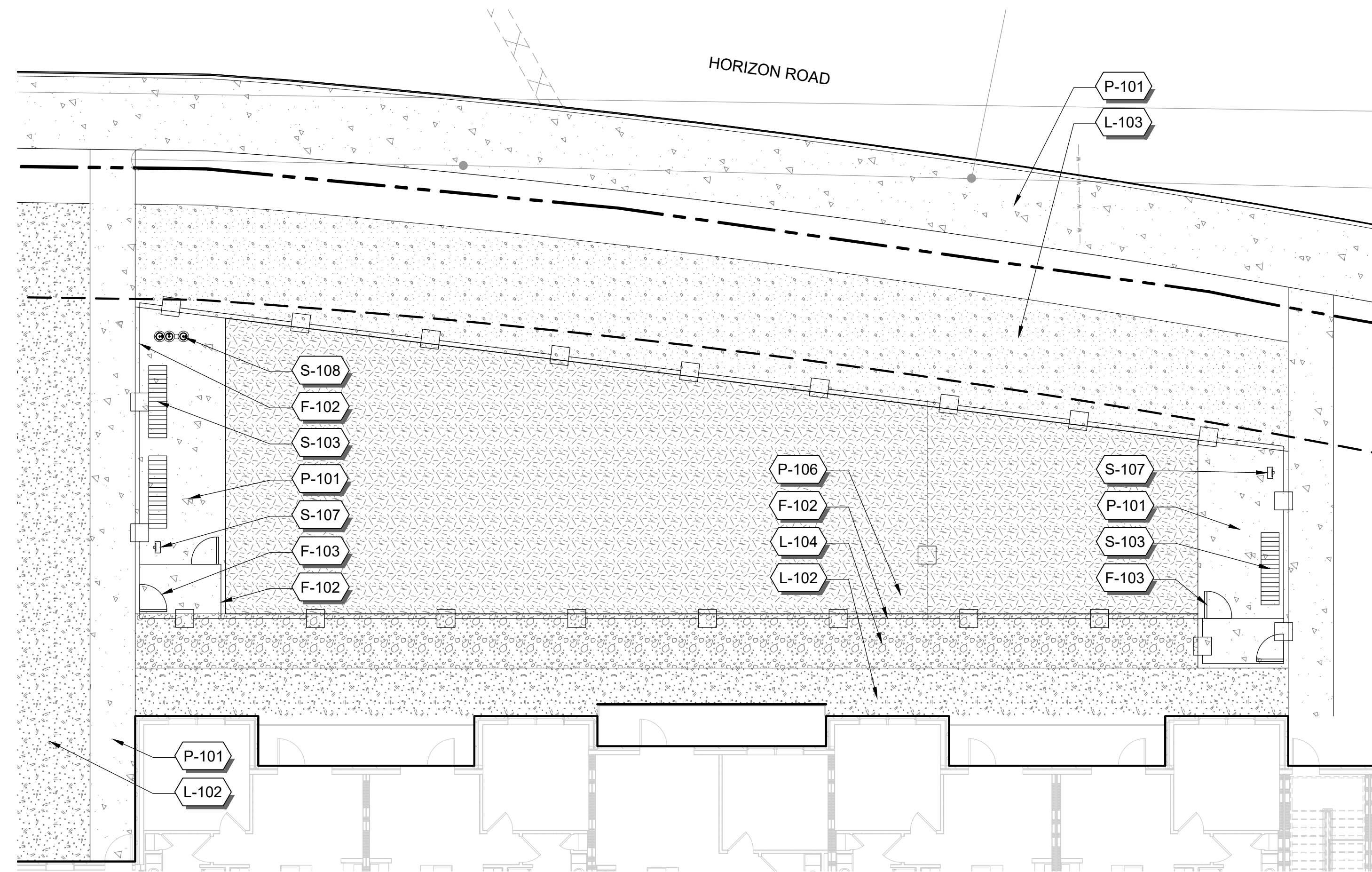
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

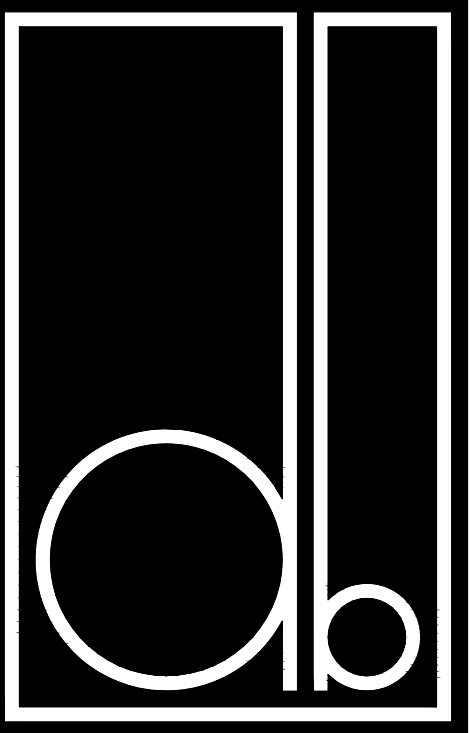
PLANNING DIRECTOR'S SIGNATURE:



1 POOL COURTYARD - SITE PLAN
SCALE: 1" = 10'



2 DOG PARK - SITE PLAN
SCALE: 1" = 10'



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HARBOR RESIDENCES:

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DATE ISSUED:

02/17/2023

SHEET NUMBER AND TITLE:

L112

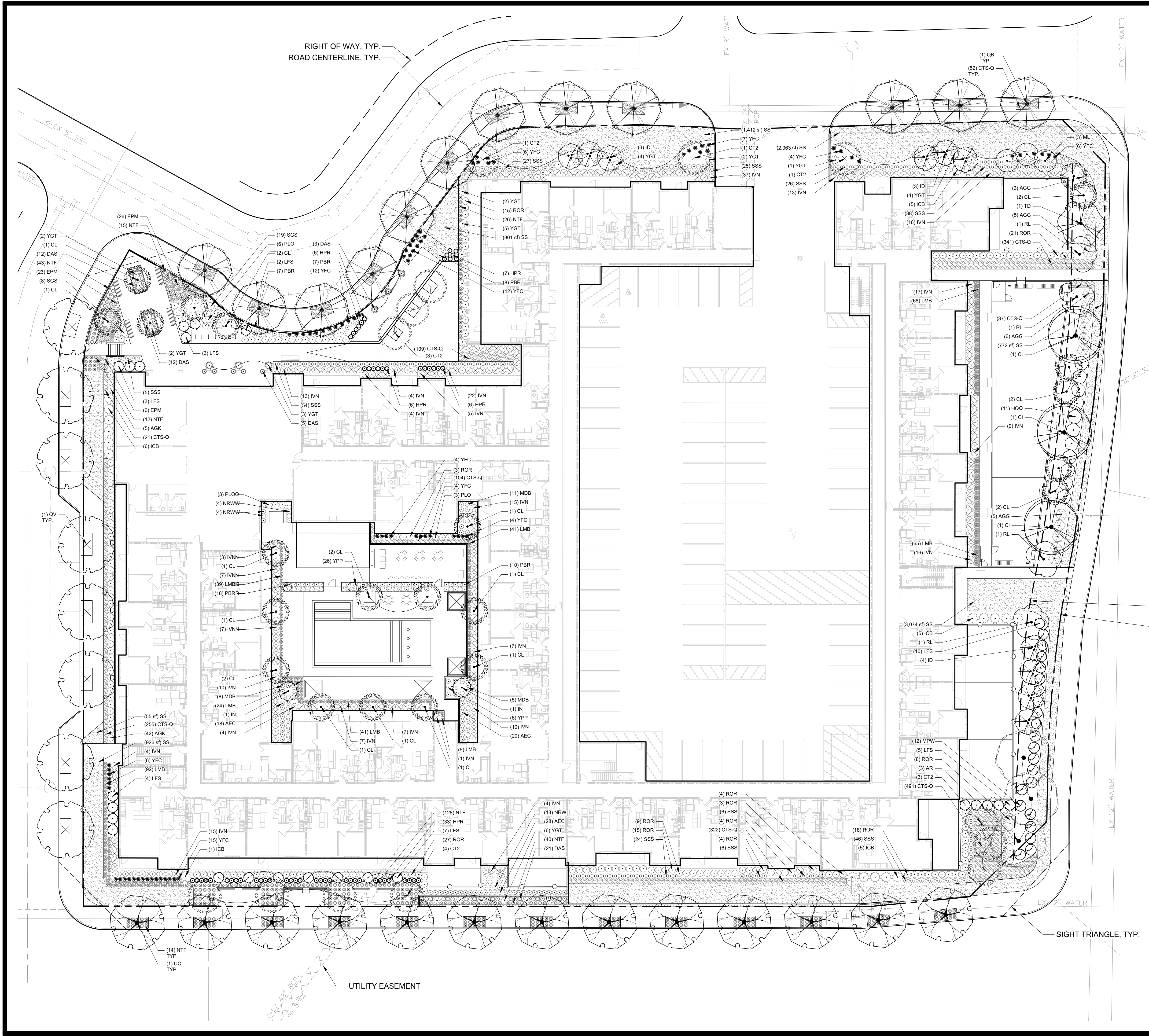
LANDSCAPE PLAN - MATERIALS

CASE NUMBER:

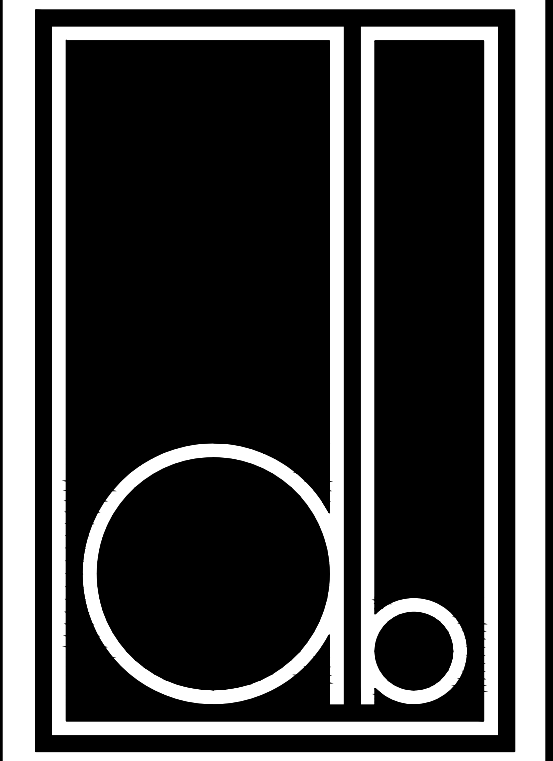
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-322 HARBOR DISTRICT.	
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3 BEDROOM UNIT TOTAL: 8			
TOTAL UNITS: 176 UNITS			



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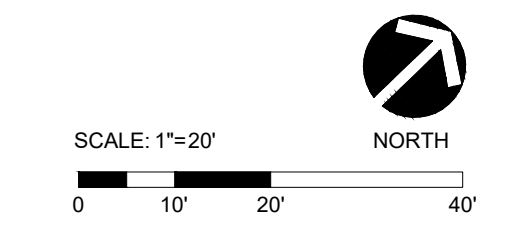
L210
LANDSCAPE PLAN - PLANTING

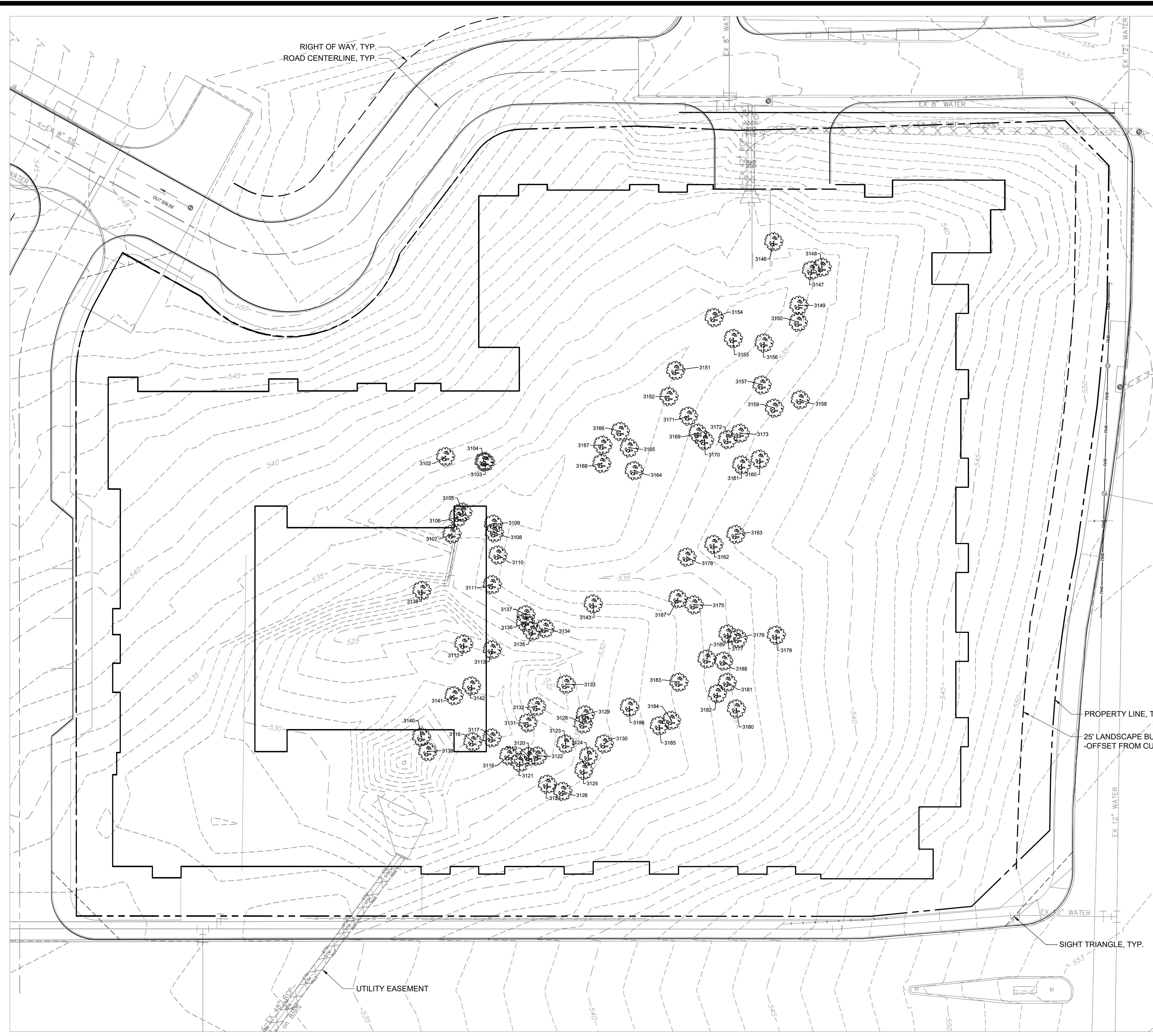
CASE NUMBER:
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

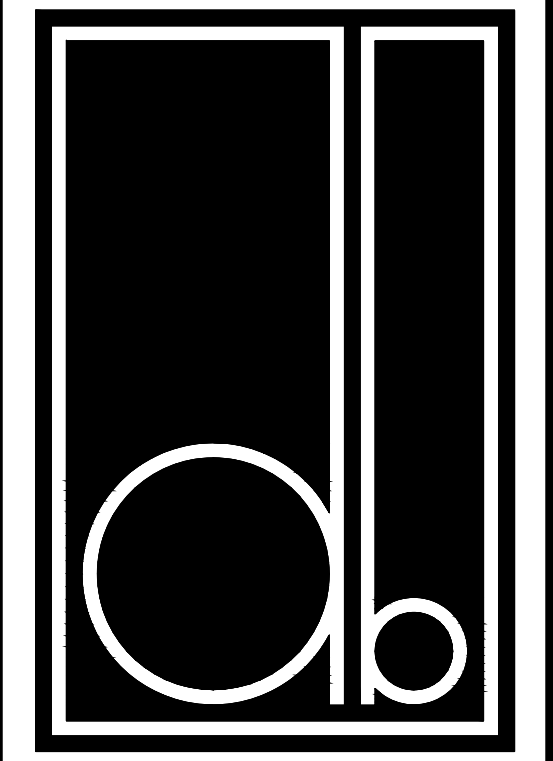
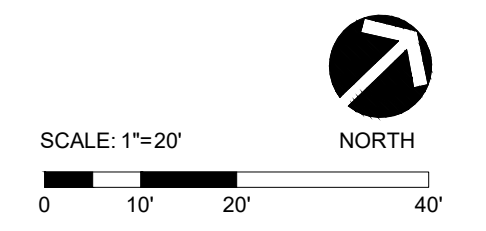
NOTES:
1. IRRIGATION WILL MEET ALL REQUIREMENTS OF THE ROCKWALL, TX UDC





Existing Tree Survey				
Tree #	Family	Size	Status	Classified
3102	Oak	17"	Healthy	Protected
3103	Hackberry	9"	Healthy	Secondary
3104	Hackberry	6"	Healthy	Secondary
3105	Hackberry	11"	Healthy	Secondary
3106	Hackberry	6"	Healthy	Secondary
3107	Oak	14"	Healthy	Protected
3108	Oak	23"	Healthy	Protected
3109	Oak	13"	Healthy	Protected
3110	Oak	10"	Healthy	Protected
3111	Oak	10"	Healthy	Protected
3112	Oak	6"	Healthy	Protected
3113	Oak	8"	Healthy	Protected
3116	Oak	9"	Healthy	Protected
3117	Oak	10"	Healthy	Protected
3118	Elm	17"	Healthy	Protected
3119	Oak	32"	Healthy	Protected
3120	Hackberry	15"	Healthy	Secondary
3121	Elm	12"	Healthy	Protected
3122	Elm	11"	Healthy	Protected
3123	Hackberry	12"	Healthy	Secondary
3124	Oak	15"	Healthy	Protected
3125	Oak	14"	Healthy	Protected
3126	Hackberry	9"	Healthy	Secondary
3127	Hackberry	13"	Healthy	Secondary
3128	Oak	9"	Healthy	Protected
3129	Elm	9"	Healthy	Protected
3130	Oak	17"	Healthy	Protected
3131	Elm	15"	Healthy	Protected
3132	Elm	12"	Healthy	Protected
3133	Oak	23"	Healthy	Protected
3134	Hackberry	13"	Healthy	Secondary
3135	Hackberry	10"	Healthy	Secondary
3136	Hackberry	13"	Healthy	Secondary
3137	Hackberry	12"	Healthy	Secondary
3138	Hackberry	8"	Healthy	Secondary
3139	Oak	12"	Healthy	Protected
3140	Oak	13"	Healthy	Protected
3141	Oak	12"	Healthy	Protected
3142	Hackberry	8"	Healthy	Secondary
3143	Hackberry	14"	Healthy	Secondary
3146	Oak	12"	Healthy	Protected
3147	Pecan	10"	Healthy	Protected
3148	Elm	9"	Healthy	Protected
3149	Oak	14"	Healthy	Protected
3150	Oak	16"	Healthy	Protected
3151	Oak	8"	Healthy	Protected
3152	Elm	11"	Healthy	Protected
3154	Elm	11"	Healthy	Protected
3155	Hackberry	9"	Healthy	Secondary
3156	Elm	11"	Healthy	Protected
3157	Oak	7"	Healthy	Protected
3158	Oak	17"	Healthy	Protected
3159	Hackberry	14"	Healthy	Secondary
3160	Oak	14"	Healthy	Protected
3161	Oak	15"	Healthy	Protected
3162	Elm	11"	Healthy	Protected
3163	Oak	8"	Healthy	Protected
3164	Elm	9"	Healthy	Protected
3165	Elm	10"	Healthy	Protected
3166	Oak	16"	Healthy	Protected
3167	Oak	13"	Healthy	Protected
3168	Oak	10"	Healthy	Protected
3169	Elm	8"	Healthy	Protected
3170	Hackberry	9"	Healthy	Secondary
3171	Hackberry	9"	Healthy	Secondary
3172	Oak	8"	Healthy	Protected
3173	Hackberry	12"	Healthy	Secondary
3175	Oak	8"	Healthy	Protected
3176	Oak	8"	Healthy	Protected
3177	Hackberry	9"	Healthy	Secondary
3178	Elm	8"	Healthy	Protected
3179	Oak	17"	Healthy	Protected
3180	Elm	11"	Healthy	Protected
3181	Oak	9"	Healthy	Protected
3182	Oak	8"	Healthy	Protected
3183	Oak	11"	Healthy	Protected
3184	Oak	14"	Healthy	Protected
3185	Elm	10"	Healthy	Protected
3186	Hackberry	8"	Healthy	Secondary
3187	Oak	11"	Healthy	Protected
3188	Hackberry	8"	Healthy	Secondary
3189	Oak	9"	Healthy	Protected

Site Mitigation Requirements			
Type of Tree	Total Inches	Mitigation Requirement	Mitigated Inches
Primary	673	1" : 1"	673
Secondary	129	1" : 1/2"	65
Featured	32	1" : 2"	64
Total Mitigation Inches Required			802



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
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OWNER:

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DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:

PORTION OF THEMOTDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, SITUATED WITHIN THE HILLSIDE MIXED USE SUBDISTRICT AND THE HORIZON/SUMMER LEE SUBDISTRICT OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32), GENERALLY LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF HORIZON ROAD AND SUMMER LEE DRIVE

DATE ISSUED:
02/17/2023

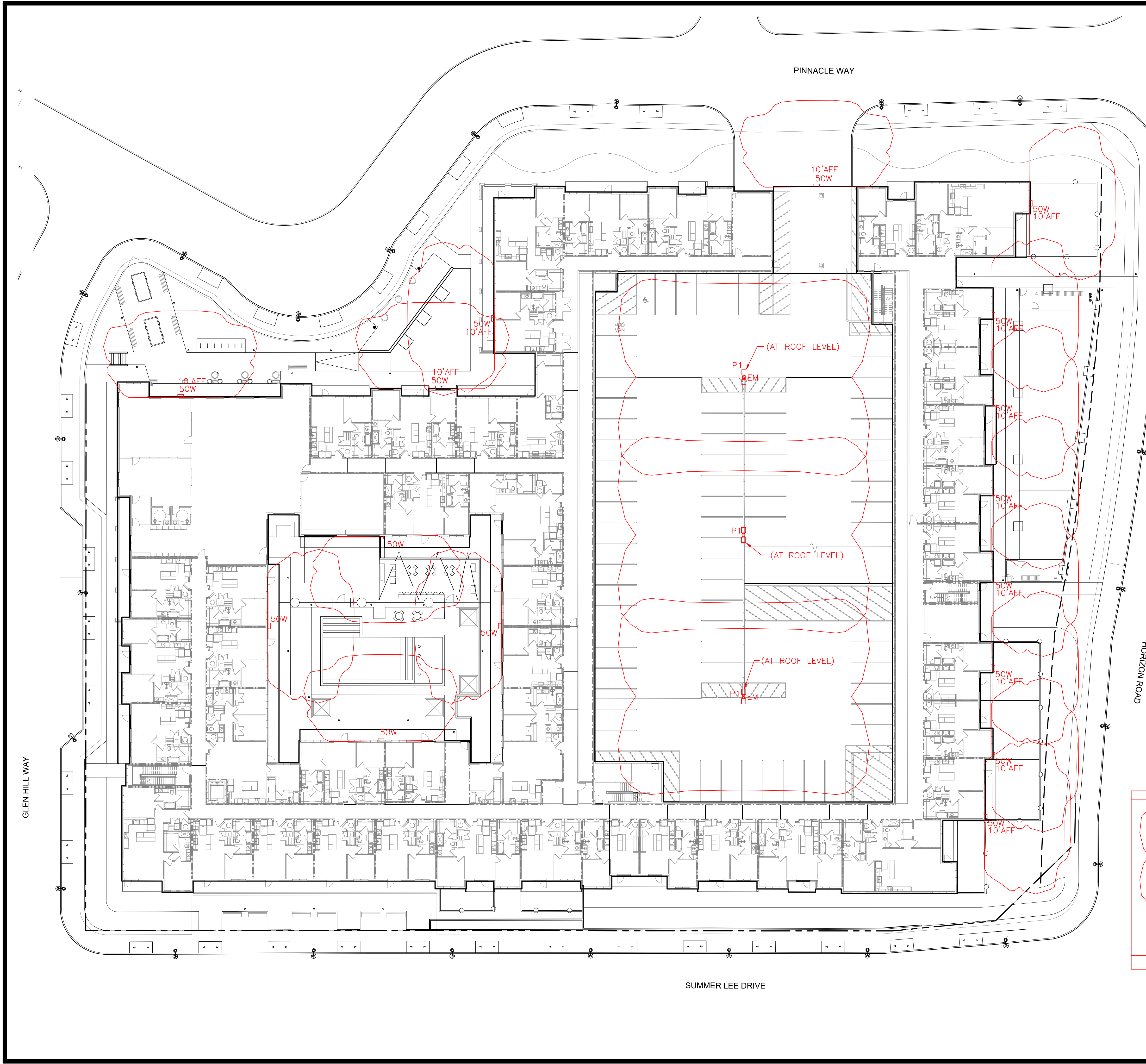
SHEET NUMBER AND TITLE:

L221
TREESCAPE PLAN - EXISTING

CASE NUMBER:
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:



LEGEND

	STREET LIGHT
	POLE LIGHT
	BUILDING MOUNTED DIRECTIONAL LIGHT
	PATH LIGHT
	RECESSED WALL LIGHT
	CATENARY LIGHTS
	TREE UPLIGHT

SITE LEGEND

REPRESENTS EXTENTS OF .1 FOOTCANDLES

DIVINE LIGHTING, MD4 (TWIN HEAD)
 DS1009C-DB-LED120-40K-V, 12000 LMS
 CONTEMPORARY LED STREET LIGHT WITH FIN LOOK, FULL
 CUTOFF W/ BACK SHIELD, CAST ALUMINUM HOUSING,
 POWDER COATED, INTEGRATED LED ARRAY, MET LISTED
 TO MEET 1598 STANDARD IP65 RATED, 120V, 120W,
 MOUNTED ON 17' POLE, LIGHTING CONTROLLED BY
 P.E.C. POLES SHALL BE RATED FOR WIND SPEED AS
 SPECIFIED BY STRUCTURAL ENGINEER.

REPRESENTS EXTENTS OF .1 FOOTCANDLES

DIVINE LIGHTING, MD4 MWPS-DB-LED90-40K, 5000 LMS, FULL CUTOFF FINNED LED WALLPACK WITH SLITS, CAST ALUMINUM HOUSING, POWDER COATED, INTEGRATED LED ARRAY, MET LISTED TO UL 1598, DARK SKY COMPLIANT, 120V, 50W, MOUNTED AT 20' ABOVE FINISHED GRADE UNLESS NOTED OTHERWISE. LIGHTING CONTROLLED BY P.E.C.

NOTE: VERIFY ALL LIGHT FIXTURE MOUNTING HEIGHTS WITH OWNER PRIOR TO INSTALLATION

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DATE ISSUED:
 02/17/2023

SHEET NUMBER AND TITLE:
L400
 LIGHTING PLAN

CASE NUMBER:
Z2022-058

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-009
PROJECT NAME: Site Plan for SPR
SITE ADDRESS/LOCATIONS: 501 INDUSTRIAL BLVD

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Needs Review

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for a warehouse/manufacturing facility on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-009) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be Final Plat, to establish the new lot lines and new easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) Label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)

(2) Existing on site are 88 parking spaces. On the original site plan [SP2019-004] it indicated that the Phase 2 would have 79 additional parking spaces, for a total of 167 parking spaces. The proposed site plan indicates that 58 parking spaces will be added for a total of 146 parking spaces. Also, the original site plan indicated that Phase 2 would be 64,950

SF and the proposed indicates 80,000 SF. Please provide staff with clarification on the reduced proposed parking and the increase in square footage. A variance will need to be requested.

(3) Please clarify if there is any proposed fencing. If so, please provide an exhibit of the proposed fence. All existing fencing may remain, but call them out on the site plan. (Subsection 08.02. F, of Article 08)

(4) All roof mounted equipment must be fully screened by the parapet. The provided line of site does not take into account the RTUs or visibility from the adjacent properties to the south or west. (Subsection 01.05. C, of Article 05)

(5) Please provide a detail of the generator and indicate the landscape screening. (Subsection 01.05. C, of Article 05)

(6) Are there any proposed dumpsters? If so, they must meet the following standards. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards (Subsection 01.05. B, of Article 05)

(7) Please clarify that there will be no outside storage.

M.7 Landscape Plan:

(1) Please delineate the landscape buffer along Industrial Boulevard. (Subsection 05.01, of Article 08)

M.8 Treescape Plan:

(1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

M.9 Photometric Plan:

(1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

(2) The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Subsection 03.03. G, of Article 07)

(3) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07)

M.10 Building Elevations:

(1) Please adjust the material percentages to reflect the proposed materials, which in this case are tilt wall and metal. Per the General Industrial District standards, the proposed building should be 90% masonry, with at least 20% natural or quarried stone. These will be variances to the request. That being said, justification for the tilt wall and stone form liner is that it's being used to match the existing building; however, the metal, particularly on the east side, will need to be justified.

(2) The wall length requirement on the primary façade does not meet the requirements (Wall Length = 4 x Building Height). The wall length and architectural element width requirements on the secondary façade does not meet the requirements (Wall Length = 3 x Building Height; Architectural Element Width = 15% of the Building Height). In this case, these will require exceptions to the request. (Subsection 04.01. C, of Article 05)

I.11 Staff has identified the following exceptions and variances associated with the proposed request: [1] parking, [2] less than 20% stone, [3] less than 90% masonry, [4] tilt wall, [5] primary articulation, and [6] secondary articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Needs Review

02/22/2023: - Screening for transformers?

- Flume will need to drain toward "downstream" not perpendicular to drainage swale.
- 20'x9' min for new parking.
- Show ex. utility easement to make sure no structures are in the easement.

The following comments are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Will have to replat the property

Roadway Paving Items:

- Parking to be 20'x9' facing the building or nose-to-nose.
- No dead-end parking allowed, must have a City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.

Water and Wastewater Items:

- All public water and sewer must be centered in a minimum of 20' easement including all appurtenances.
- Any water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

Drainage Items:

- Must verify existing detention is sized for additional runoff.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Drainage patterns must match the approved/as-built SPR plans for Phase 1
- Manning's C-value is per zoning type.
- Existing storm sewer and drainage system will have to be reviewed to ensure system can handle proposed drainage if deviating from approved (as-built) Phase 1 plans.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Landscaping:

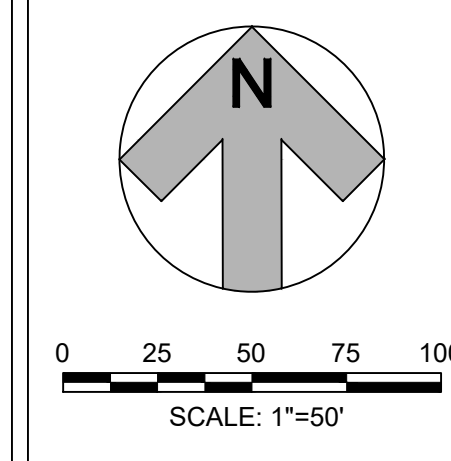
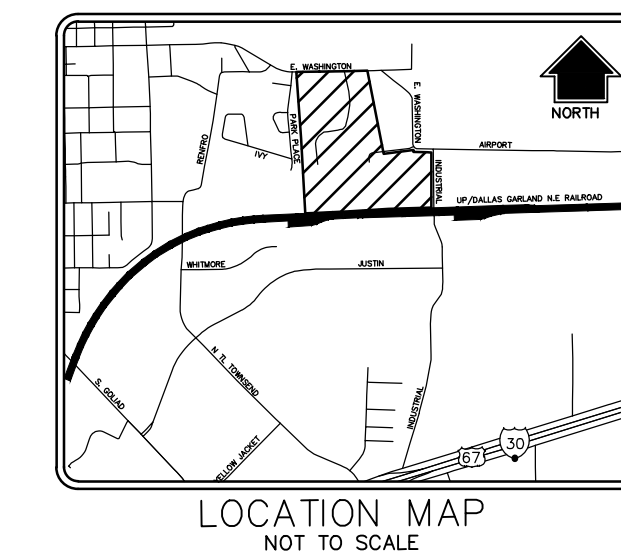
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

BUILDING	Rusty McDowell	02/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved w/ Comments

02/21/2023: 1. Landscape Plan (shade / canopy trees require 4" caliper minimum)

2. Tree mitigation approved on future plans please review the new tree preservation ordinance as tree mitigation plan submittals have changed



SITE DATA:

CURRENT ZONING:	(L) LIGHT INDUSTRIAL
PROPOSED LAND USE:	OFFICE, WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:	11.37 AC. (495,340 SF)
BUILDING:	
PHASE 1	
1st FLOOR EXISTING	78,682 SF
2nd FLOOR EXISTING	536 SF
2nd FLOOR NEW	1,483 SF
PHASE 2	
1st FLOOR	54,134 SF
	34,291 SF
	88,425 SF
ESTIMATION (ESTIMATED)	25,866 SF

WORKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA
 VARIANCE REQUEST SUBMITTED WITH SITE PLAN
 WORKING SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE

WORKING SPACES REQUIRED = 90 SPACES
 STORAGE SPACES REQUIRED = 20 SPACES
 OFFICE SPACES REQUIRED = 110 SPACES
 TOTAL SPACES PROVIDED = 146 SPACES

WORKING SPACES REQUIRED = 5 SPACES
 STORAGE SPACES PROVIDED = 5 SPACES
 INCLUDED IN TOTAL ABOVE

EXISTING LEGEND

	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	STORM MANHOLE
	WATERLINE
	SEWER LINE
	EASEMENT LINE
	PROPERTY LINE
	CONTOUR LINE

LEGEND

7" THICK, 3600 PSI CONCRETE PAVEMENT
 (6.5 SACK MIX) WITH #3 BARS AT 18"
 O.C.E.W. OVER LIME TREATED SUBGRADE PER
 GEOTECHNICAL RECOMMENDATIONS

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Landscaping:

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VEYOR

ASSOCIATES, INC.
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 (412) 217-6461
 TX FIRM# F-312

DEVELOPER/OWNER

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ARCHITECT

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LANDSCAPE ARCHITECT

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 SUITE 501
 DALLAS, TX 75205
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 EMAIL: KHAUG@BELLEFIRMA.COM
 TEL: 214-865-7192

MARK 1
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 100
 FEET NORTHEAST OF THE
 EASTERN-MOST NORTHEAST
 PROPERTY CORNER
 ELEVATION=580.82'

BENCHMARK 2
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 18.5
 FEET NORTHWEST OF THE SOUTHEAST
 PROPERTY CORNER ELEVATION = 577.13'

SPR
 PACKAGING
 SPR NORTH PHASE 2
 ROCKWALL, TEXAS
 INDALLOY ADDITION, BLOCK 1, LOT 2

HALFF
 3803 PARKWOOD BLVD., SUITE 800
 ROCKWALL, TEXAS 75087
 TEL: (972) 414-1616-1674
 FAX: (972) 414-1616-1674
 TBP ELS FIRM # F-312

Revision No.	Date	Description

PRELIMINARY

FOR INTERIM REVIEW ONLY
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BRIAN M. SATGAJ
 NAME P.E. NO. 107708
 DATE 02/17/2022
 TBP ELS Engineering Firm #312

Project No.: 35533
 Issued: FEB. 2023
 Drawn By: CAD
 Checked By: BMS
 Scale: AS SHOWN
 Sheet Title

DETAIL SITE PLAN

C0.02
 Sheet Number

CASE NO. XXXX

CITY#: XXXX



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

IF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **501 INDUSTRIAL BLVD, ROCKWALL TX 75087**

SUBDIVISION **INDALLOY ADDITION** LOT **2** BLOCK **1**

GENERAL LOCATION **INTERSECTION OF RAILROAD RD AND INDUSTRIAL BLVD; NORTH OF I-30**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LIGHT INDUSTRIAL** CURRENT USE **OFFICE, WAREHOUSE, MANUFACTURING**

PROPOSED ZONING **LIGHT INDUSTRIAL** PROPOSED USE **OFFICE, WAREHOUSE, MANUFACTURING**

ACREAGE **11.37 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER ALVAPLAST US DEVELOPMENT LLC	<input checked="" type="checkbox"/> APPLICANT HALFF ASSOCIATES
CONTACT PERSON CAROLINA MOLINA	CONTACT PERSON TJ MCDONALD
ADDRESS 1480 JUSTIN ROAD	ADDRESS 3803 PARKWOOD BLVD, SUITE 800
CITY, STATE & ZIP ROCKWALL, TX 75087	CITY, STATE & ZIP FRISCO, TX 75034
PHONE 469-402-1232	PHONE 214-937-3939
E-MAIL CMolina@sprpackaging.com	E-MAIL tjcdonald@halff.com

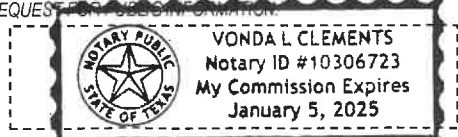
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marcus McKee [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 477.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF February 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF February 2023

OWNER'S SIGNATURE [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

MY COMMISSION EXPIRES 1/5/2025

PD-87

Feet

0 55 110 220 330 440

SP2023-009: Site Plan for SPR Packaging

E WASHINGTON ST

AG

G

ALUMINUM PLANT RD

AIRPORT RD

LI

INDUSTRIAL BLVD

Case Location Map = 

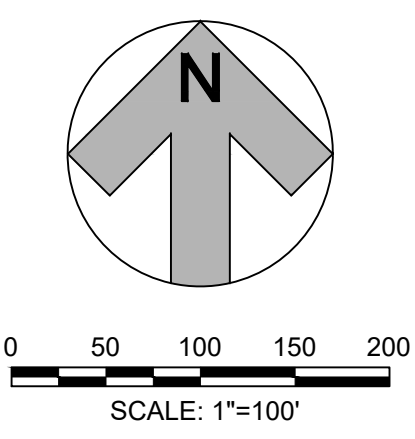
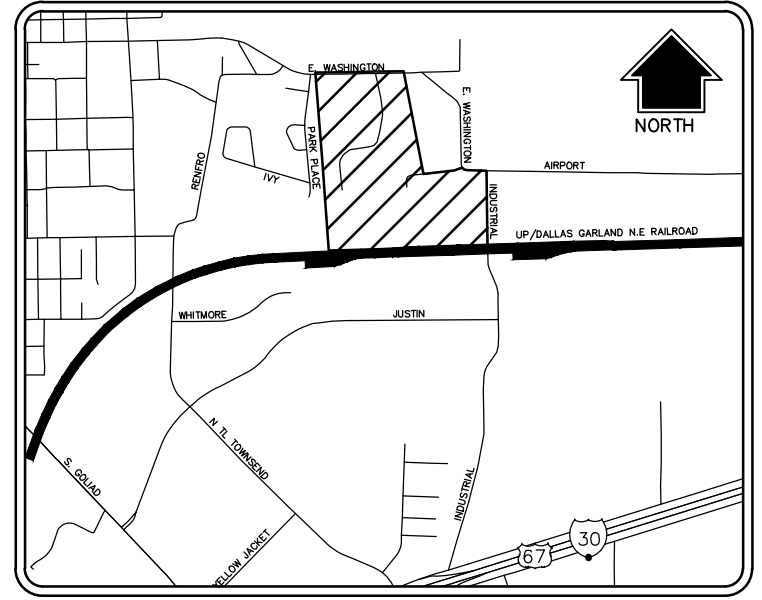
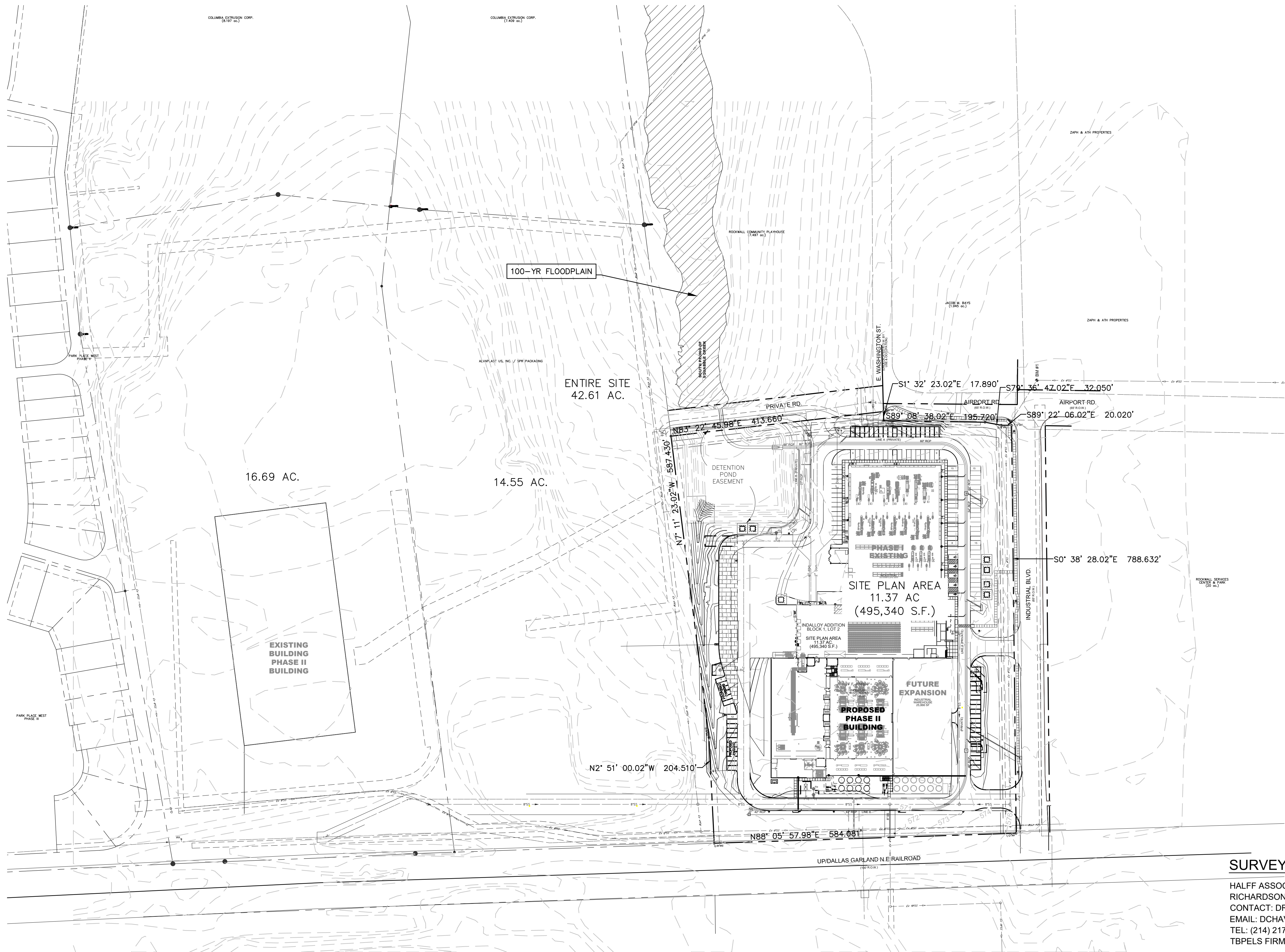


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SPR PACKAGING
SPR NORTH PHASE 2
 ROCKWALL, TEXAS
 INDALLOY ADDITION, BLOCK 1, LOT 2

HALFF
 3803 PARKWOOD BLVD, SUITE 800
 FRISCO, TEXAS 75034-8640
 TEL: 214-688-4574
 FAX: 214-688-4574
 TBPELS FIRM #F-312

Revision No.	Date	Description

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BRIAN M. SATAGAJ 107708
 NAME P.E. NO.
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 TBPELS Engineering Firm #312

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Sheet Title
OVERALL SITE PLAN

C0.01
 Sheet Number

SURVEYOR

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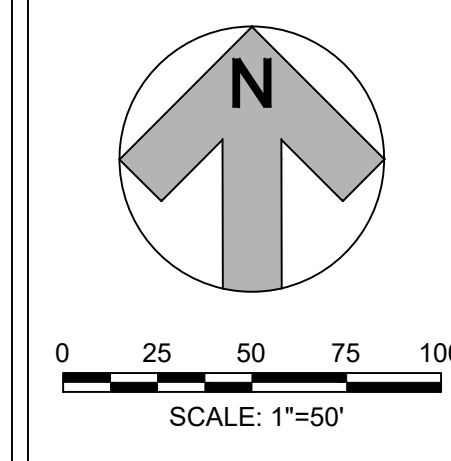
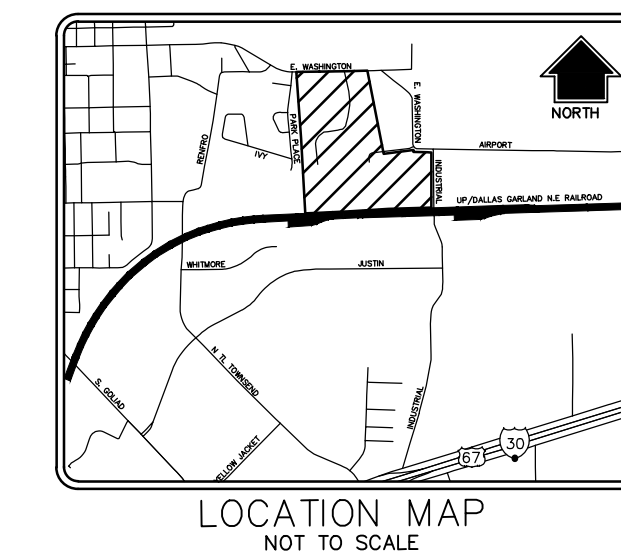
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 FEET NORTHEAST OF THE
 EASTERN-MOST NORTHEAST
 PROPERTY CORNER
 ELEVATION=580.82'

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 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 18.5
 FEET NORTHWEST OF THE SOUTHEAST
 PROPERTY CORNER ELEVATION =577.13'

CASE NO. XXXX

CITY#: XXXX

February 17, 2023 5:00:03 35533 03 CADD Sheets\FRC\Phase II\C-SITE-35533.dwg



SITE DATA:

CURRENT ZONING:	(L) LIGHT INDUSTRIAL
PROPOSED LAND USE:	OFFICE, WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:	11.37 AC. (495,340 SF)
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1st FLOOR EXISTING	78,682 SF
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TOTAL	80,701 SF
PHASE 2	
1st FLOOR	54,134 SF
2nd FLOOR	34,291 SF
TOTAL	88,425 SF
FUTURE EXPANSION (ESTIMATED)	
1st FLOOR	25,866 SF
PARKING:	
NOTE: REQUIRED PARKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA REFERENCE VARIANCE REQUEST SUBMITTED WITH SITE PLAN	
EMPLOYEES PER SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE	
EMPLOYEE PARKING SPACES REQUIRED = 90 SPACES VISITOR PARKING SPACES REQUIRED = 20 SPACES TOTAL PARKING SPACES REQUIRED = 110 SPACES TOTAL PARKING SPACES PROVIDED = 146 SPACES	
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EXISTING LEGEND

	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	STORM MANHOLE
	WATERLINE
	SEWER LINE
	EASEMENT LINE
	PROPERTY LINE
	CONTOUR LINE

LEGEND

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CASE NO. XXXX

CITY#: XXXX

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SPR NORTH PHASE 2
ROCKWALL, TEXAS
INDALLOY ADDITION, BLOCK 1, LOT 2

HALFF
3803 PARKWOOD BLVD, SUITE 800
DALLAS, TEXAS 75246
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FAX: (214) 616-4374
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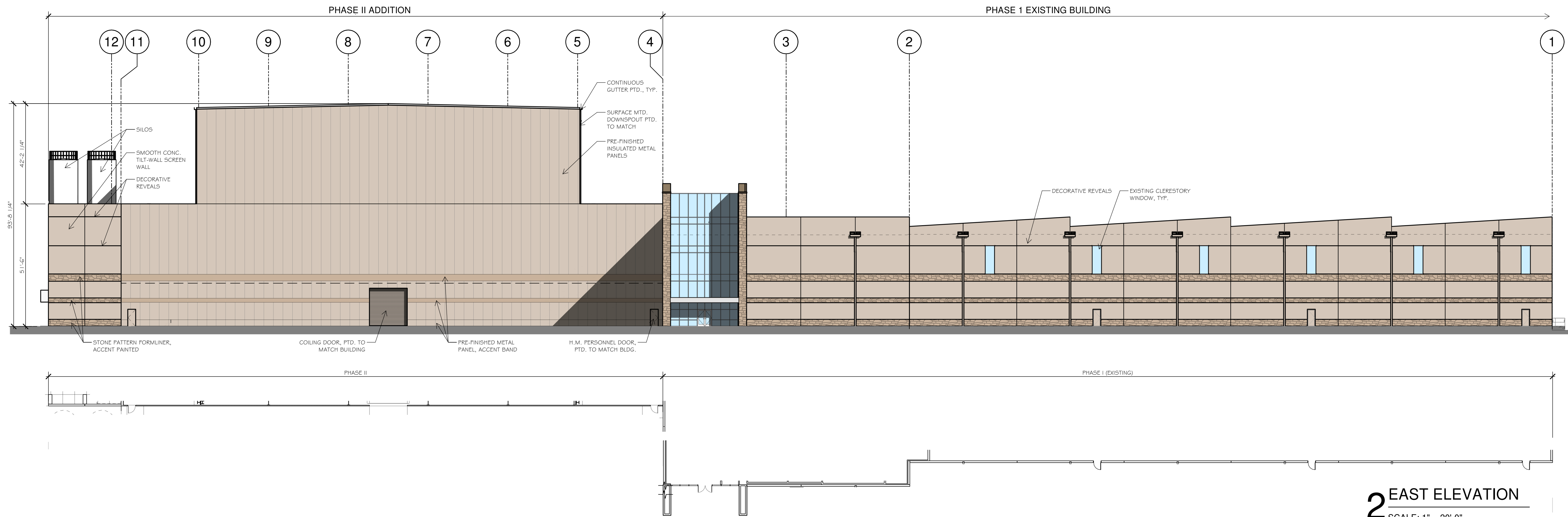
BRIAN M. SATAGAJ 107708
NAME P.E. NO.
DATE 02/17/2022
TBPELS Engineering Firm #312

Project No.:	35533
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Checked By:	BMS
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Sheet Title	DETAIL SITE PLAN

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Sheet Number

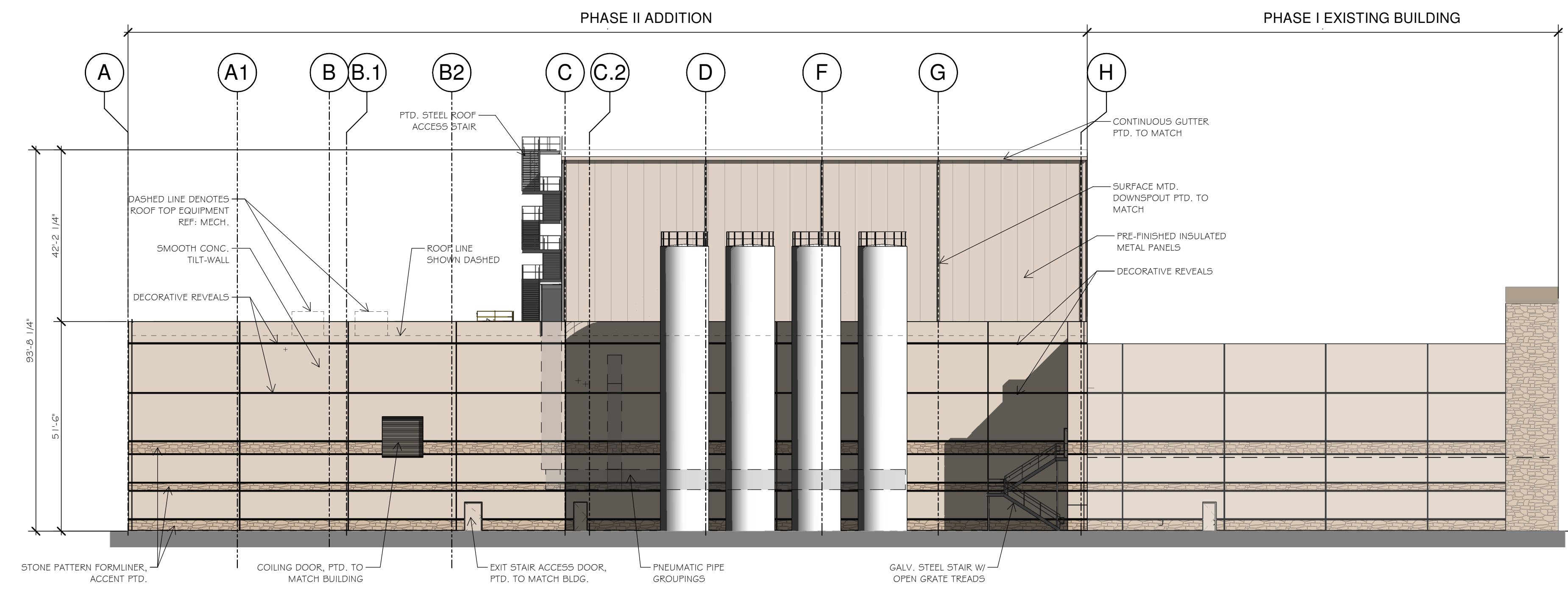
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2 EAST ELEVATION
SCALE: 1" = 20'-0"

PAINT SCHEME LEGEND	
(A) BASE PAINT COLOR	SHERWIN WILLIAMS - SW 9085 TOUCH OF SAND
(B) ACCENT PAINT COLOR 01	SHERWIN WILLIAMS - SW 7518 BEACH HOUSE
(C) ACCENT PAINT COLOR 02	SHERWIN WILLIAMS - SW 7550 RESORT TAN
(D) METAL PANEL - ACCENT TRIM	METAL SPAN WEATHERXL - SADDLE TAN



1 SOUTH ELEVATION
SCALE: 1" = 20'-0"

FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQ. FT.	15,986 S.F.	31,704 S.F.	28,696 S.F.	45,868 S.F.
FACADE SQ. FT. EXCLUDING DOORS & WINDOWS	15,382 S.F.	31,194 S.F.	25,731 S.F.	43,187 S.F.
DOORS AND WINDOWS	604 S.F.	510 S.F.	2,965 S.F.	2,681 S.F.
INSULATED METAL PANELS (IMP)	43 S.F.	5,859 S.F.	7,129 S.F.	7,129 S.F.
MASONRY TOTAL	15,339 S.F.	25,335 S.F.	18,602 S.F.	36,058 S.F.
	99.7 %	81.0 %	72.0 %	83.0 %

OWNER:
 ALVAPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469. 402. 1232

ARCHITECT:
 PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972. 759. 1400

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

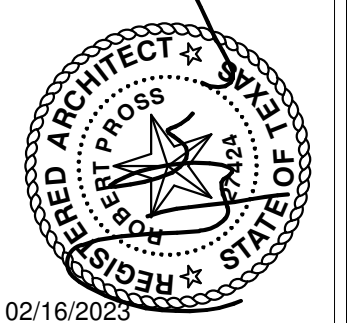
WITNESS OUR HANDS, this _____ day of _____, 2023.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

drawn: MA
 checked: ROBERT PROSS
 date: 02/16/2023

#	DATE	DESCRIPTION



02/16/2023

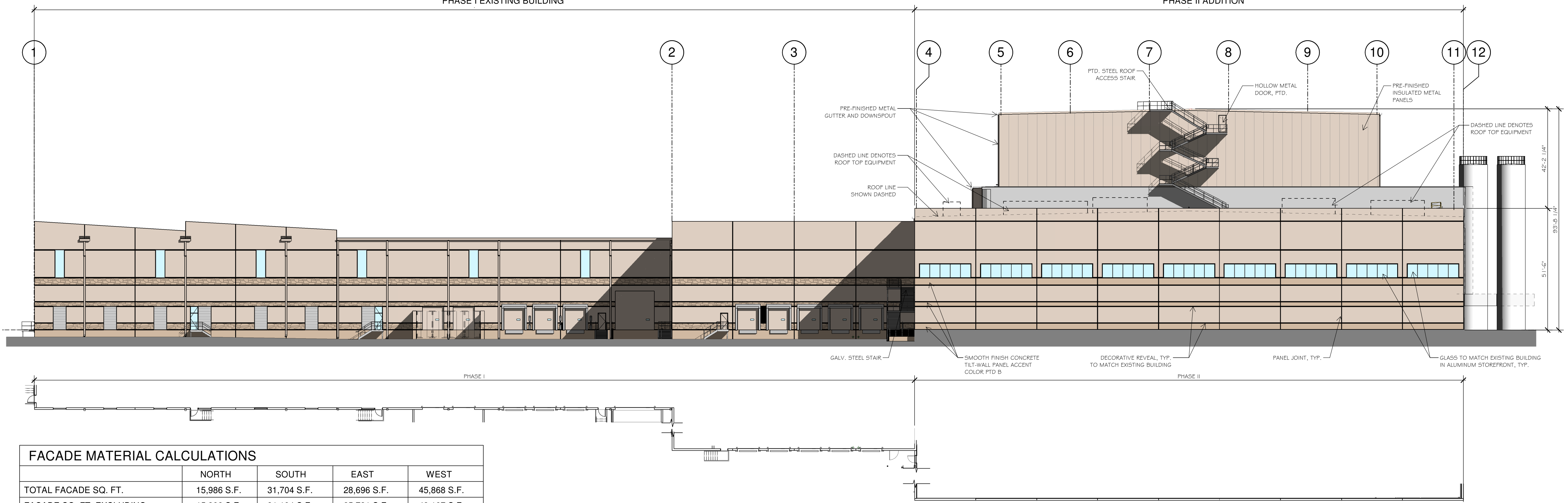
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SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no
 2033
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PHASE I EXISTING BUILDING

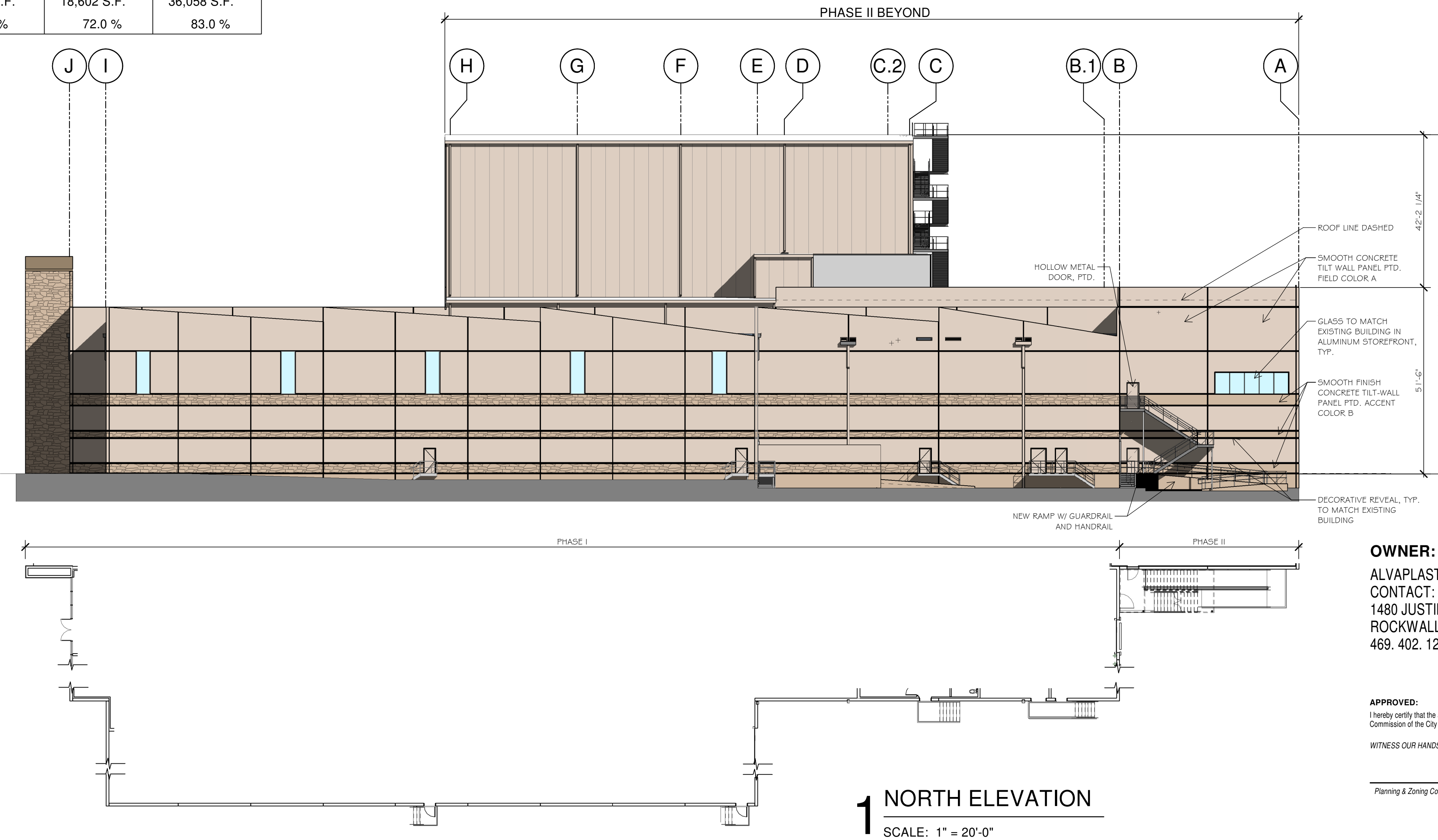
PHASE II ADDITION



FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQ. FT.	15,986 S.F.	31,704 S.F.	28,696 S.F.	45,868 S.F.
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	99.7 %	81.0 %	72.0 %	83.0 %

2 WEST ELEVATION
SCALE: 1" = 20'-0"

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1 NORTH ELEVATION
SCALE: 1" = 20'-0"

OWNER:
ALVPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232

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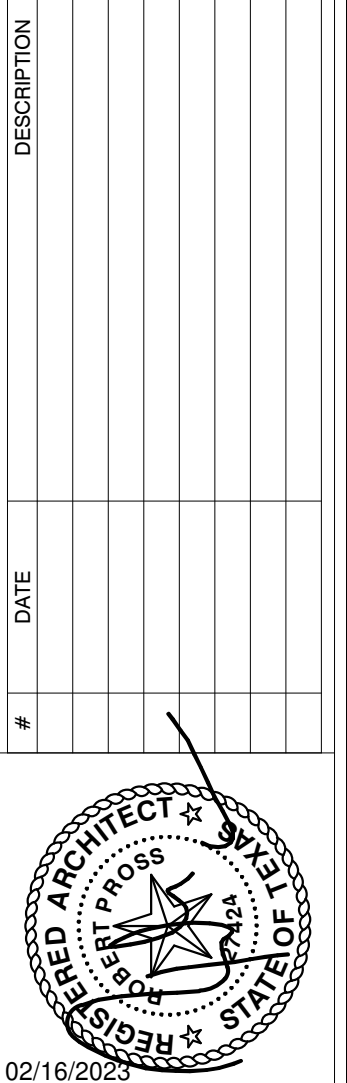
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WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

drawn: M
checked: ROBERT PROSS
date: 02/16/2023



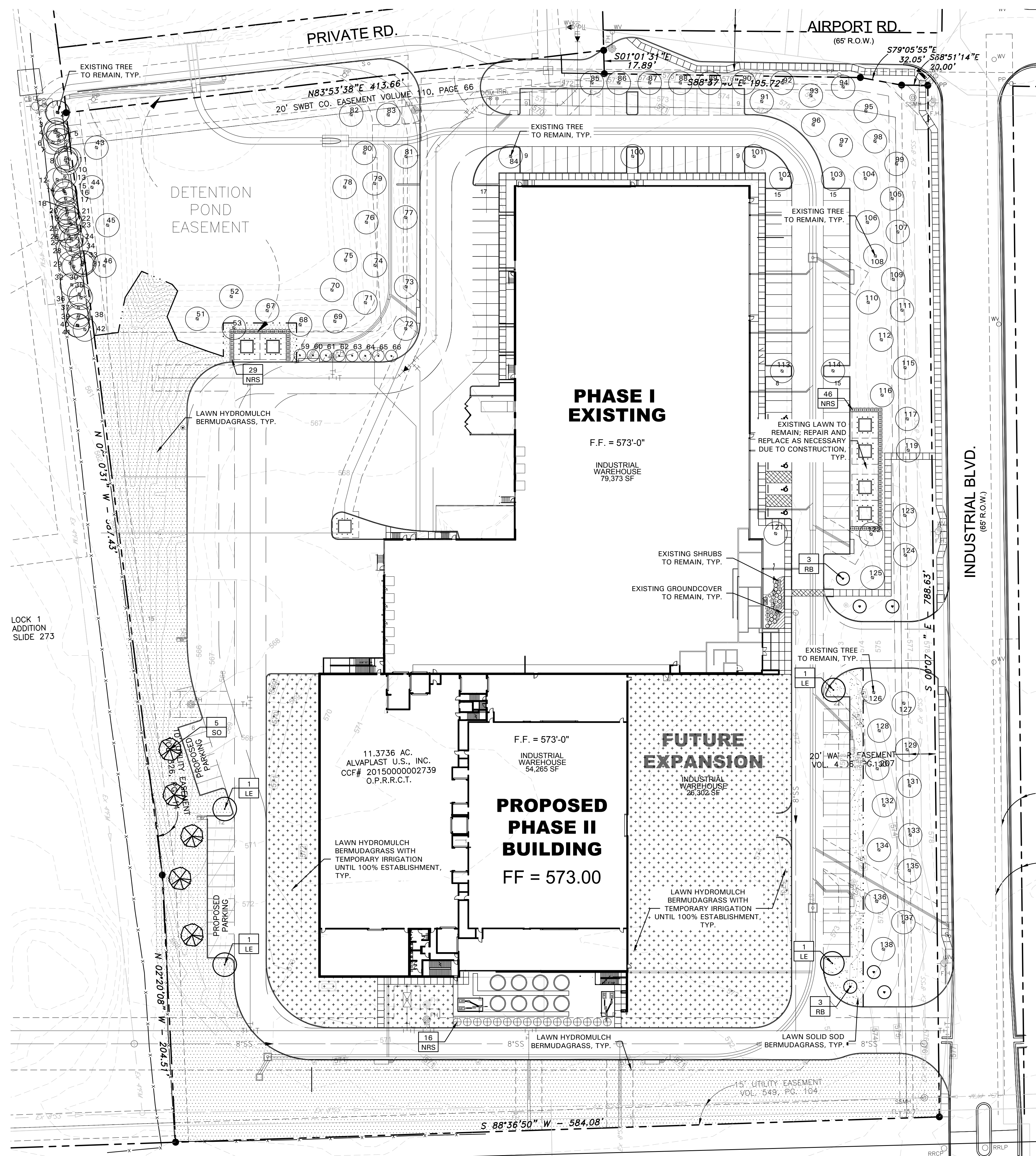
02/16/2023

pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972/759-1400

SPR PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
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sheet
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LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	4	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	6	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	5	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
SHRUBS/GROUNDCOVER					
NRS	<i>Ilex spp. 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly	91	7 gal.	container full to base, 36" ht., refer to plan for spacing
	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE TABULATIONS
THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- 10' wide landscape buffer with one tree per 50 l.f.

INDUSTRIAL BLVD.: 789 l.f.
 Required (16) trees, 3" cal. Provided (16) existing trees, 4" cal. +

AIRPORT RD.: 248 l.f.
 Required (5) trees, 3" cal. Provided (5) existing trees, 4" cal. +

PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape.
- One (1) tree for every ten (10) parking spaces.
- All parking spaces shall be a minimum eighty (80) feet from a tree.

Total interior parking lot area: 38,589 s.f.
 Total parking spaces: 88 spaces

Required 1,930 s.f. (5%) (9) trees
 Provided 3,164 s.f. (16%) (9) existing trees

SITE LANDSCAPING

- 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.
- 100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site: 11.37 AC; 495,440 s.f.

Required 49,544 s.f. (100%) (49,544 s.f. (100%))
 Provided 263,051 s.f. (25%) (168,924 s.f.)

DETENTION BASIN REQUIREMENTS

- A minimum of one (1) tree for every 750 s.f. of dry land area.

Dry Land Area: 17,143 s.f.
 Required (23) trees
 Provided (23) existing trees

INCREASED LANDSCAPING

- Materials and Masonry Composition
- Above Ground Silo Screening
- Parking

Provided:

- (5) Additional trees along west parking row.
- (6) Ornamental trees added at existing entry drives.
- (16) Evergreen screening shrubs provided around silos.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469.402.1232

ARCHITECT:

PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972.759.1400

APPROVED:

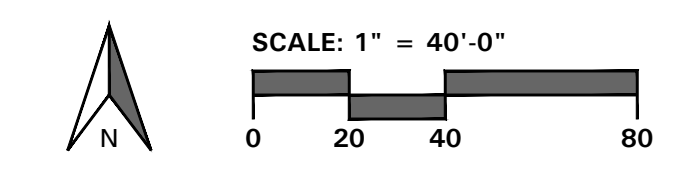
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

LANDSCAPE PLAN

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office



drawn: [checked] K [date: 02/16/2023]

DATE	DESCRIPTION

REGISTERED LANDSCAPE ARCHITECT
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

pross design group, incorporated
 5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230 972.759.1400

job no 2033
 sheet L2.01

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including roots in lawn, shall be repaired as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
6. Remove rejected plant material immediately from job site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
a. Clay - between 7-27 percent
b. Silt - between 15-25 percent
c. Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEGE Heavy Duty Steel.
B. Staking Material for Shade Trees: refer to details.
C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

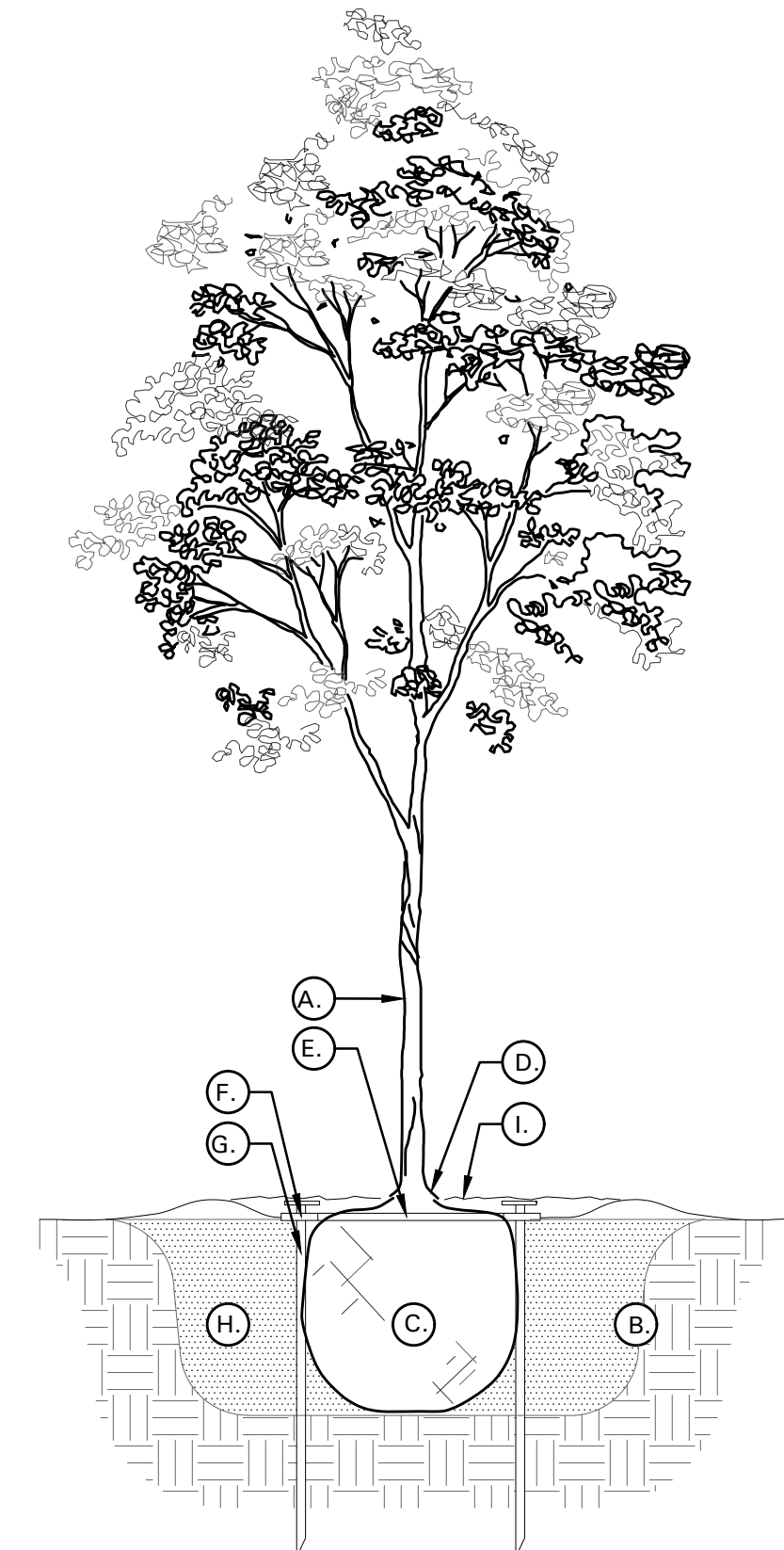
- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

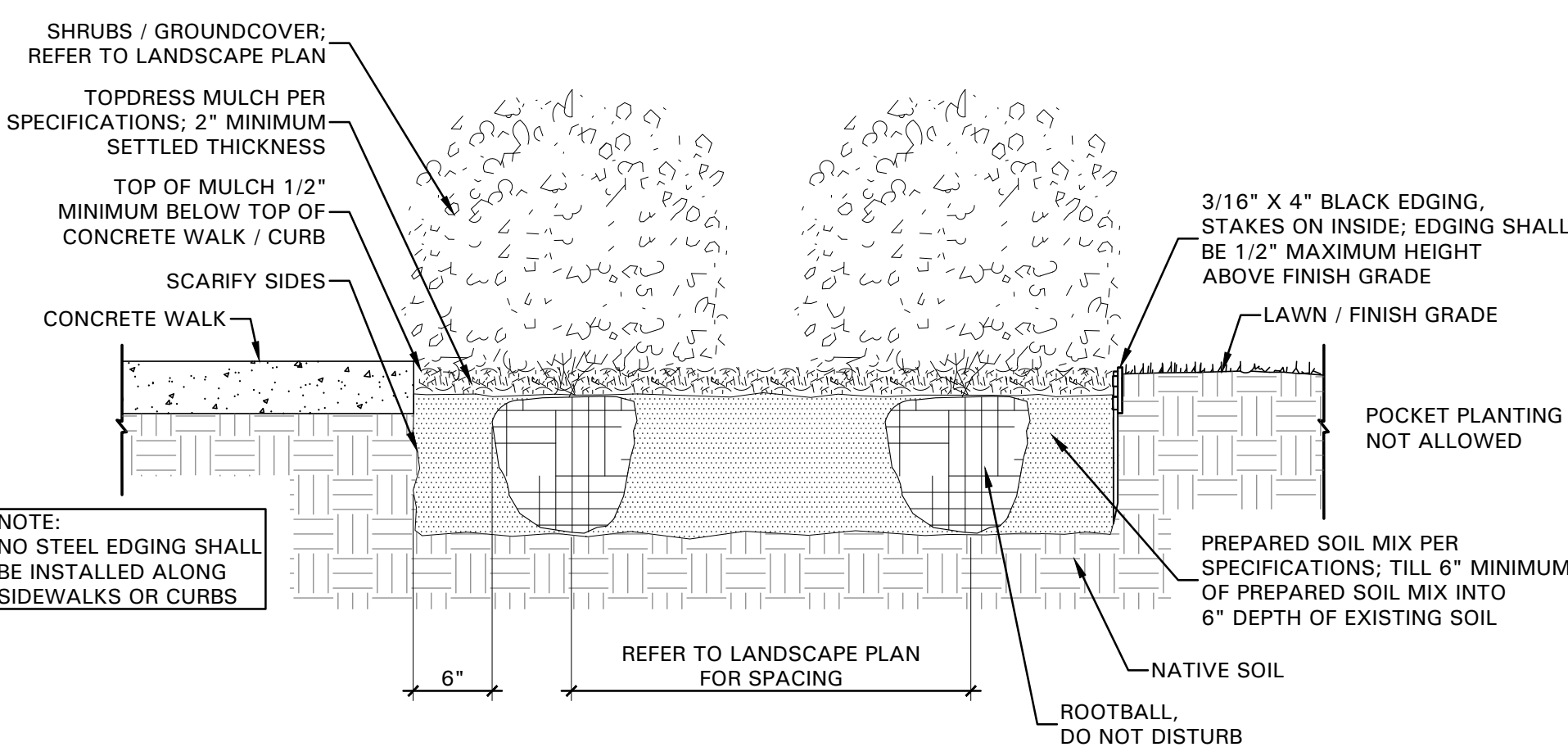
tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
J. Do not wrap trees.
K. Do not over prune.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be done in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 1/2" maximum height above final finished grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks or curbs.
6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.
3.3 CLEANUP AND ACCEPTANCE
A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.
END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS. WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



01 TREE PLANTING DETAIL NOT TO SCALE

02 SHRUB / GROUNDCOVER DETAIL NOT TO SCALE

OWNER: ALVAPLAST U.S. DEVELOPMENT, LLC CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469. 402. 1232

ARCHITECT: PROSS DESIGN GROUP, INC. CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 DALLAS, TX 75230 972. 759. 1400

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2020. WITNESS OUR HANDS, this ___ day of ___, 2020.

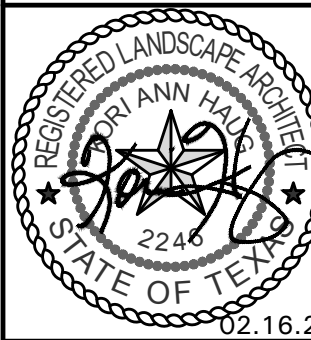
LANDSCAPE SPECIFICATIONS AND DETAILS



4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

SPR PACKAGING SPR NORTH - PHASE II ROCKWALL, TEXAS

job no 2033 sheet L2.02



pross design group, incorporated 5010 Harvest Hill Road, Suite 180, Dallas, Texas 75230 (972) 759-1400

Table with columns for DATE and DESCRIPTION.

TREE SURVEY FIELD DATA							
No.	Dia. (inches)	Species (common name)	Status	Condition	Remarks	Protection Status	Mitigation Required
1	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
2	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
3	5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
4	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
5	15	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
6	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
7	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
8	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
11		HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
10	12	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
11	8.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
12	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
13	8	BOIS D'ARC	TO REMAIN	POOR	OFFSITE	NON-PROTECTED	
14	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
15	6	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
16	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
17	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
18	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
19	14	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
20	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
21	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
22	12	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
23	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
24	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
25	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
26	11	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
27	4	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
28	15	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
29	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
30	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
31	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
32	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
33	13.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
34	10	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
35	9.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
40	4	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
41	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
42	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
43	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
44	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
45	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
46	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
47	3	CHINKAPIN OAK	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
48	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
49	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
50	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
51	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
52	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
53	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
54	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
55	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
56	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
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61	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
62	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
63	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
64	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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68	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
69	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
70	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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73	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
74	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
75	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
76	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
77	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
78	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
79	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
80	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
81	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
82	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
83	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
84	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
85	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
86	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
87	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
88	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
89	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
90	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
91	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
92	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
93	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
94	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
95	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
96	3	BUR OAK	TO REMAIN	POOR	ON-SITE	NON-PROTECTED	
97	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
98	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
99	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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104	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
105	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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107	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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125	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
126	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
127	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
128	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
129	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
130	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
131	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
132	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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137	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
138	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	

Total Caliper Inches on Site	663.00
Total Caliper Inches Removed	33.00
Total Mitigation Inches Required	0.00
Total Mitigation Inches Provided (Refer to Landscape Plans)	0.00
Total Mitigation Inches Remaining	0.00
Tree Preservation Credits Purchased (100% of total mitigation inches paid at \$100/inch)	0.00
	\$0.00

OWNER:
 ALVAPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469. 402. 1232


ARCHITECT:
 PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972. 759. 1400

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

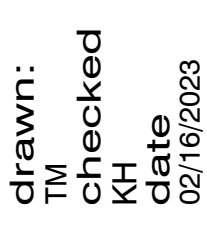
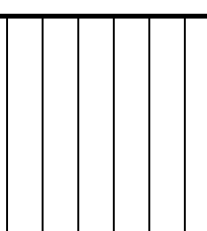
WITNESS OUR HANDS, this _____ day of _____, _____.

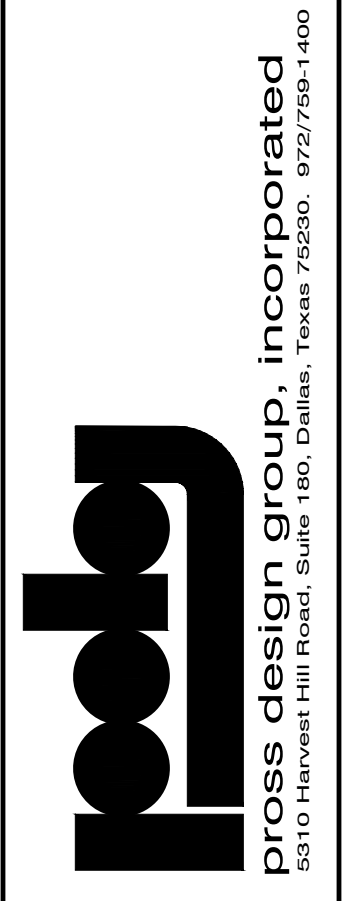
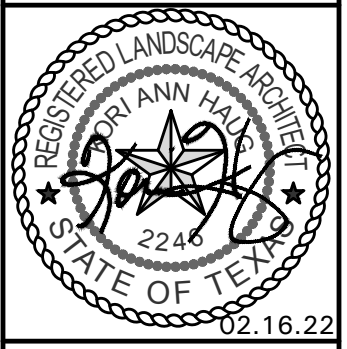
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

TREE PRESERVATION NOTES

 **BELLE FIRMA**

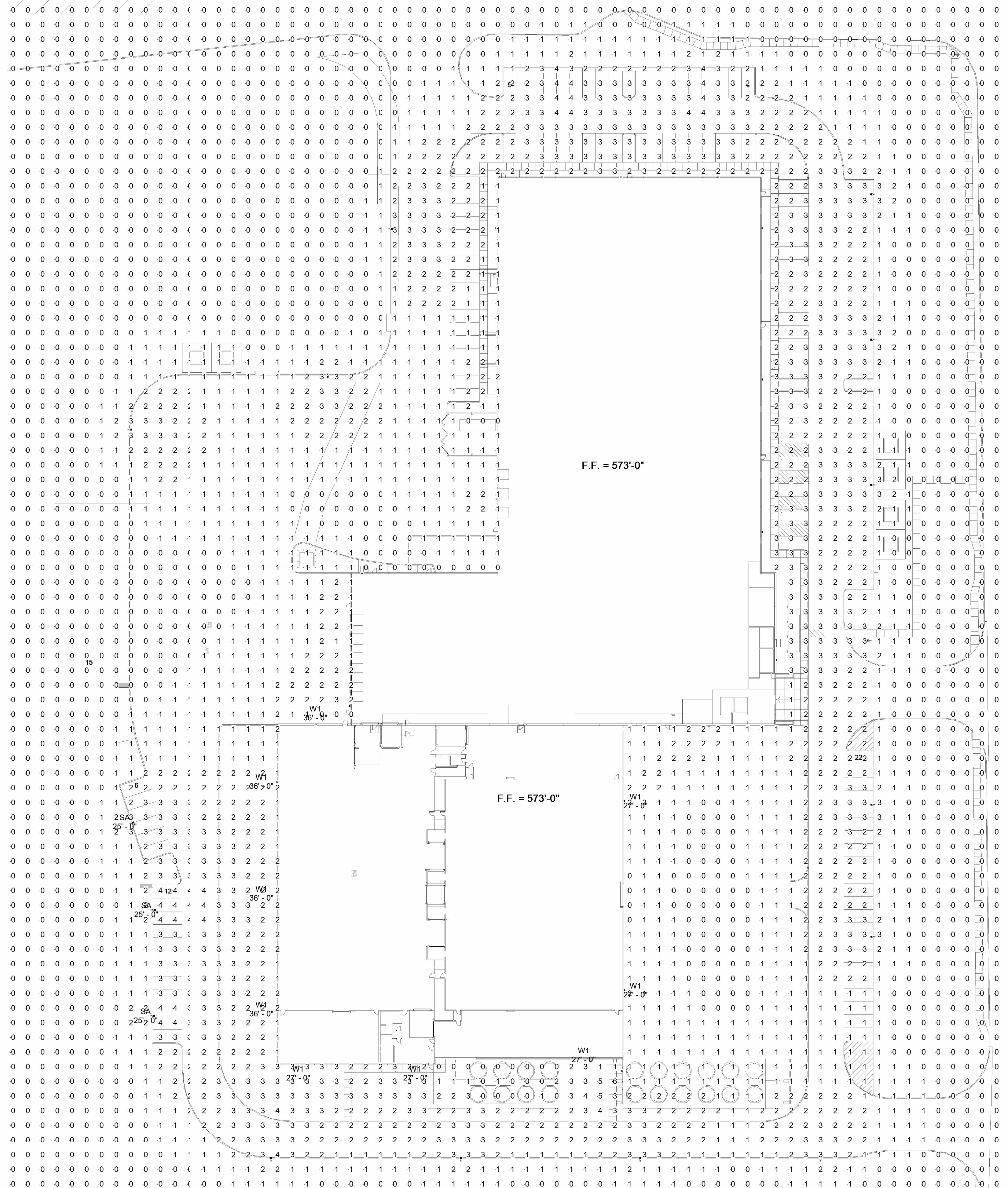
- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

drawn by: 	checked by: 
date: 02/16/2023	



SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no: 2033
 sheet: L1.02



OVERALL PLAN - FIRST FLOOR
SCALE: 1" = 40'-0"

1
E1.1

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469.402.1232

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WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

drawn:
L3/AM
checked
MROLD
02/16/2023

#	DATE	DESCRIPTION
1	02/17/2023	Issued for Site Submittal

24x36in BORDER

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SPR
PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
13597.030
ELECTRICAL
E1.1